



Guidelines for Electronic Circulation of Planning & Development Applications

This document is intended to provide guidelines on the proper use of electronic materials that are circulated as part of the application review process.

- The information included in the circulation package may be subject to copyright and must only be used for the review of the submitted application.
- Application materials are provided to you for the specific and sole purpose of allowing (i) members of the Community Association Planning Committee and/or Board of Directors and (ii) members of the public who would be directly affected by the application's approval (collectively, the "Identified Recipients") to review and comment on the application for a development permit for a proposed project in your area of business/residence. Please note that use of these materials for any other purpose or making further reproduction or distribution beyond the Identified Recipients is strictly prohibited and may constitute an offense under the Copyright Act (Canada). Accordingly, any distribution of the materials to the Identified Recipients must be accompanied with the following instructions in writing:

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The City will not be responsible or liable for any claim that may arise as a result of any misuse or unauthorized reproduction or distribution of the application materials by you or any Identified Recipients.

- Citizens who wish to view the plans can do so at the Municipal Building (800 Macleod Trail S.E.) by contacting either the File Manager or the Circulation Department at 403.268.5744 or dp.circ@calgary.ca
- The information provided must not be made available on the internet.

Should anyone wish to obtain additional information regarding the application, please contact the File Manager directly.



Application Notice DP2023-01216

March 9, 2023

A new Development Permit Application has been submitted at the below noted address(es), and we are sending this information for comments.

If you have questions or concerns related to this application, please contact the file manager directly at any point in the process.

Application Details

File Number: DP2023-01216

File Manager: SHALLU SHARMA

Phone: 403-312-2846

eMail: Shallu.Sharma@calgary.ca

Address: 1835 28 AV SW

Legal: 4479P;24;23,24

Multiple Addresses - See File

Land Use Bylaw: 1P2007

L.U.D.: M-C2

Community: SOUTH CALGARY

Ward: 08

Application Description: New: Multi-Residential Development (1 building)

Thank you for taking the time to respond. Your input is greatly appreciated.

Please note that any written submissions made in response to the application will form part of the official record, and upon final decision of the application the correspondence will be available for public viewing.

Please submit your response through the [Development Map link](#).

Comments are due by: March 30, 2023

This information is released and may only be used for the sole purpose of your organizations meeting to discuss the recommendations of comments to be made to the City of Calgary on this permit.

February 27, 2023

**Re: Aeropark, 1823, 1831, 1835 28th Ave SW, Calgary, Alberta
Project Brief & Planning Analysis**

Casola Koppe Architects is pleased to propose the architectural and urban design for Aeropark at 1823, 1831, 1835 28th Ave SW, Calgary, Alberta. The building is composed of 65 residential units within a 5-6 storey building located within the community of South Calgary. The site is bordered by multi-residential buildings to the East and West. To the North and South, beyond 28th Ave. SW and the lane are also multi-residential buildings (MC-1).

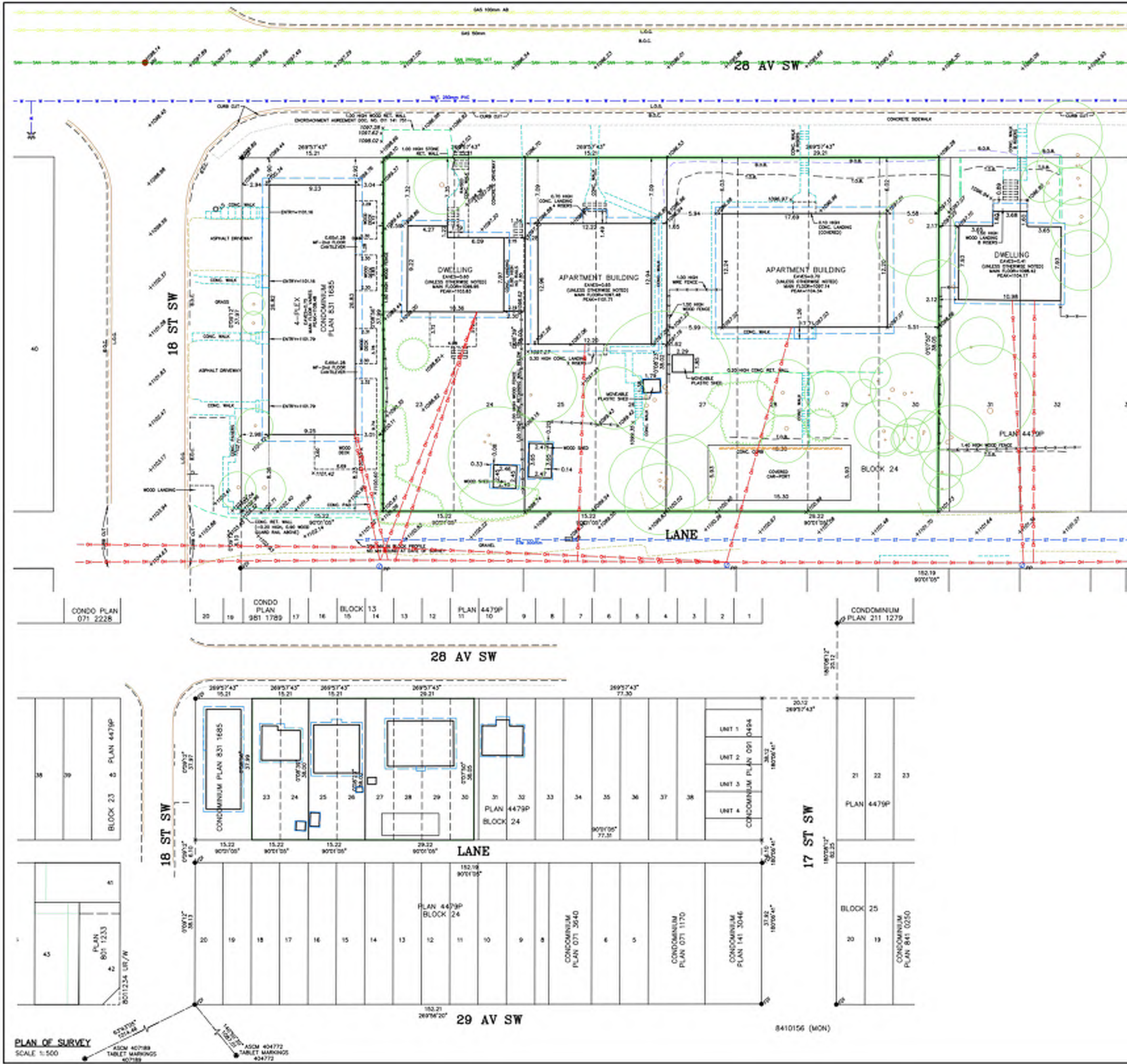
The proposed development has been designed to provide density while maintaining sensitivity to the scale of neighbouring multi-residential developments. The proposed development proposes 6 townhouse units at grade and 59 dwelling units above. The stepped building massing is a direct and sensitive response to the challenging topography of the site. The site's highest elevation is 1101.73, the lowest elevation is 1096.28, a difference of 5.45m along the east property line. The proposed height of the buildings is less than the 16m height limit of the MC-2 zoning, with the exception of the elevator overrun / exit access of the building.

- *Create a signature building within the Community of South Calgary:* The proposed building is centrally located within the Community of South Calgary. The building is a stepped 5/6 storey building and the facades are broken down by a variation of modern massing configuration, asymmetrical elevation walls, as well as massing features that highlight the street-oriented entries of the houses. The scale fits within the context of the multi-residential community. The building reads as 5 storey along 28th Ave, with a step backed partial 6th storey towards the lane.
- *Quality Streetscape:* The ground floor consists of 6 street orientated townhouse units and the residential lobby space. There are also two amenities: bike space in the building. One is located at the main floor at the front allowing ease of access to the city's pathways and bicycle paths nearby. A seating area and bicycle repair station are also provided. With the challenging topography of the site, the parkade access is along 28th Ave, however all supporting elements of the building will be along the lane (waste/recycling, parking, etc.). The design creates an active, pedestrian-oriented, walkable community.
- *Creative landscaping:* In response to the challenging grades for the site, a tiered landscaping garden is proposed along the lane. The gradual stepping of the landscaping will provide a gentler transition from the lane to the building. On the rooftop where the PH units are located, units will have a city view along with a green roof with selections of sedums proposed.
- *Diversity in Units with Views for the Community:* At the urban scale, the proposed building will be a distinctive, high-quality addition to the community South Calgary. The proposed unit floor plans offer a variety of studios, 1-2 bedroom units, and townhouses, giving plenty of options back to the community.

The proposed building of 65 units requires 41 stalls. We are requesting a variance of 1 parking stall. Given the location of the site and its proximity to bike routes and bus routes we are providing more bicycle stalls.

The design for the Aeropark is unique due to its location within the community of South Calgary, and its challenging sloped topography. We hope the proposed design supports design elements of a growing community while being sensitive to its surrounding neighbors and site context.

Thank you,
Design Team



CITY OF CALGARY, ALBERTA

PLAN SHOWING SURVEY OF
 SITE PLAN AND ELEVATIONS
 OF
 Lots 23-30, Block 24, Plan 4479P
 WITHIN
 S.1/2 Sec. 8, Twp.24, Rge.1 W. 5 M.

SCALE: 1:200

BY: NATHAN PRINS, A.L.S. 2022

- LEGEND**
- Distances shown are in metres and decimals thereof.
 Distances shown on curved boundaries are Arc distances.
 Elevations are derived from ASCM 407189 = 1123.574
 Bearings are Grid and derived from GPS observations.
 The Coordinate System used for this plan is:
 Datum - North American Datum 1983
 Projection - 3° Transverse Mercator
 Reference Meridian - 114° West Longitude
 Combined Scale Factor - 0.999728
- Elevations are shown thus:
 Catch basins are shown thus:
 Manholes are shown thus:
 Fire Hydrants are shown thus:
 Light Standards are shown thus:
 Power Poles are shown thus:
 Water Valves are shown thus:
 Signs are shown thus:
 Trees are shown thus:
 *SEE SHEET 2 FOR TREE TABLE
- Gas lines are shown thus:
 Sanitary lines are shown thus:
 Storm lines are shown thus:
 Water lines are shown thus:
 Overhead Power lines are shown thus:
 Buried Power lines are shown thus:
 Face of Curb lines are shown thus:
 Lip of Gutter lines are shown thus:
- Convey: Colpen: Shrubs:

NOTE:
 ALL UNDERGROUND SERVICES ARE TAKEN FROM CITY OF CALGARY BLOCK PROFILE, AND HAVE NOT BEEN LOCATED BY THE SURVEYOR.

ABBREVIATIONS

ASCM	Alberta Survey Control Marker	Re-est.	Re-established
N.	North	m	Metres
S.	South	B.O.C.	Back of Curb
E.	East	L.O.G.	Lip of Gutter
W.	West	WCR	Wheel Chair Ramp
Sec.	Section	CD	Curb Cut
Twp.	Township	CB	Catch Basin
Rge.	Range	MH	Manhole
M.	Meridian	LS	Light Standard
F.L.	Found	WY	Water Valve
I.	Iron Pipe	T.O.B.	Top of Bank
Mk.	Mark	B.O.B.	Bottom of Bank
R/W	Right-of-Way		

The survey was performed between May 16-17, 2022
 Certified Correct this 20th Day of May, 2022



Alberta Land Surveyor

ADDRESS OF SITE
 1823, 1831, 1835, 28TH AVENUE S.W.
 CALGARY, ALBERTA

REGISTERED OWNERS
 [Redacted]

CAUTION - PRIOR TO ANY CONSTRUCTION UNDERGROUND FACILITIES NEED TO BE LOCATED BY:



TRONNES GEOMATICS INC. 4135 - 10th Street S.E., Calgary, Alberta T2H 2Z9; 403-267-0347; Fax: 22-1156

SHEET 1 OF 2

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Revision Schedule		
Number	Date (yy/mm/dd)	Description
1	2023-02-25	DP SUBMISSION

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 #300 - 1410 1st SW, Calgary, Alberta T2R 0V8
 bus: (403) 287-9960 fax: (403) 287-9962 info@ckarch.ca

PROJECT NAME AND ADDRESS
AEROPARK

1823 28th Ave SW, Calgary, Alberta
 lots 23-30, Block 24, Plan 4479P

DRAWING
SITE SURVEY

DRAWN BY	JOB NO.	Building Permit #
Author	2210	
CHECKED BY		SHEET
Checker		
ISSUE DATE (yy/mm)		
SCALE		
AS NOTED		

DP0.01

SITE PHOTOS

1823, 1831, 1835 28th Ave SW, Calgary, Alberta



1. SOUTH WEST CORNER OF SITE



2. VIEW FROM MID-LANE LOOKING NORTH



3. SOUTH EAST CORNER OF SITE



4. VIEW OF LANE (SLOPE) LOOKING EAST



5. NORTH WEST CORNER OF SITE



6. NORTH EAST CORNER OF SITE

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 lots 23-30, Block 24, Plan 4479P

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SITE PHOTOS

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SCALE AS NOTED		DP0.02



1 NE VIEW (PARKADE ENTRY)
DP0.04



3 NW VIEW (ENTRY)
DP0.04



2 SW VIEW (W&R AREA)
DP0.04



4 SE VIEW
DP0.04

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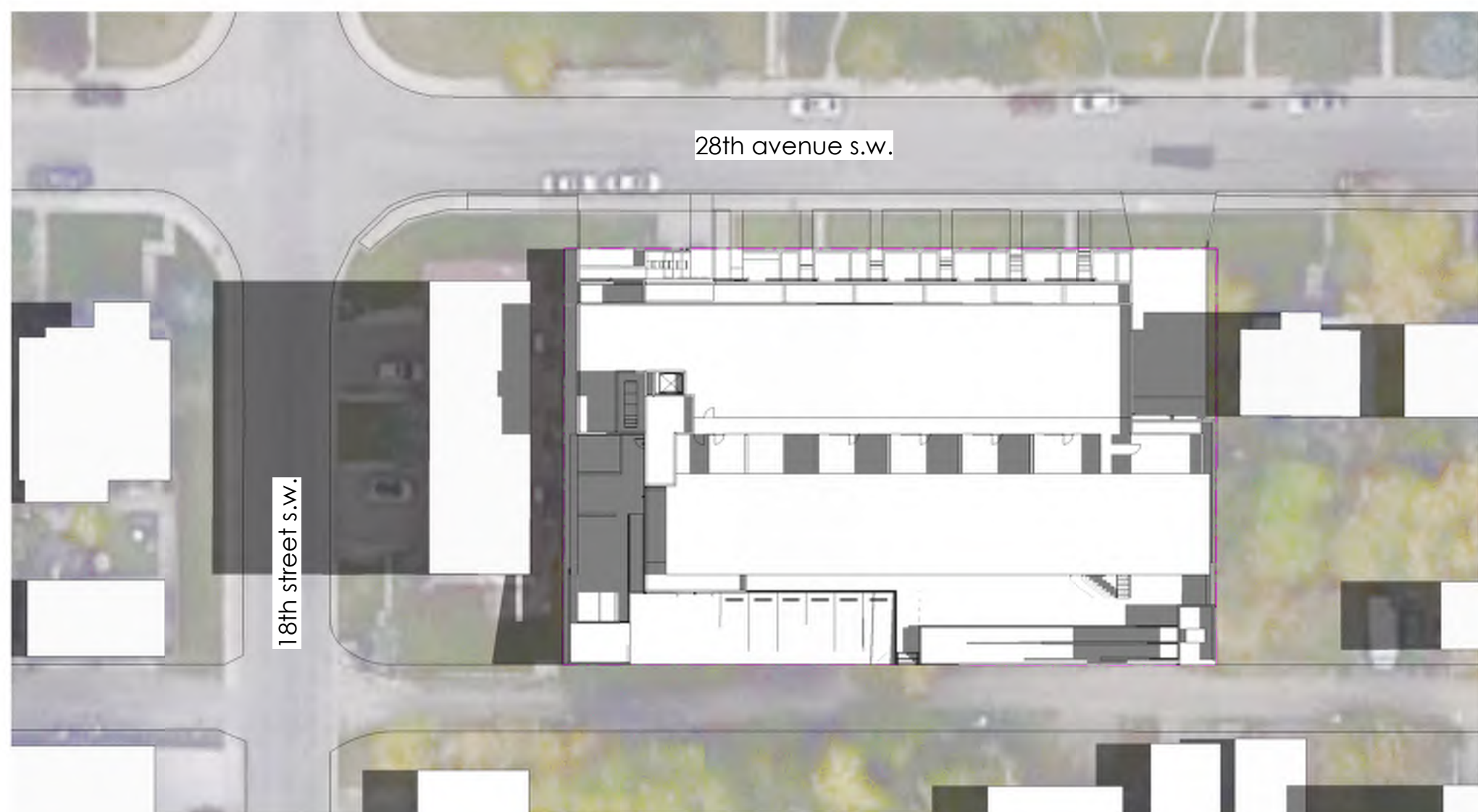
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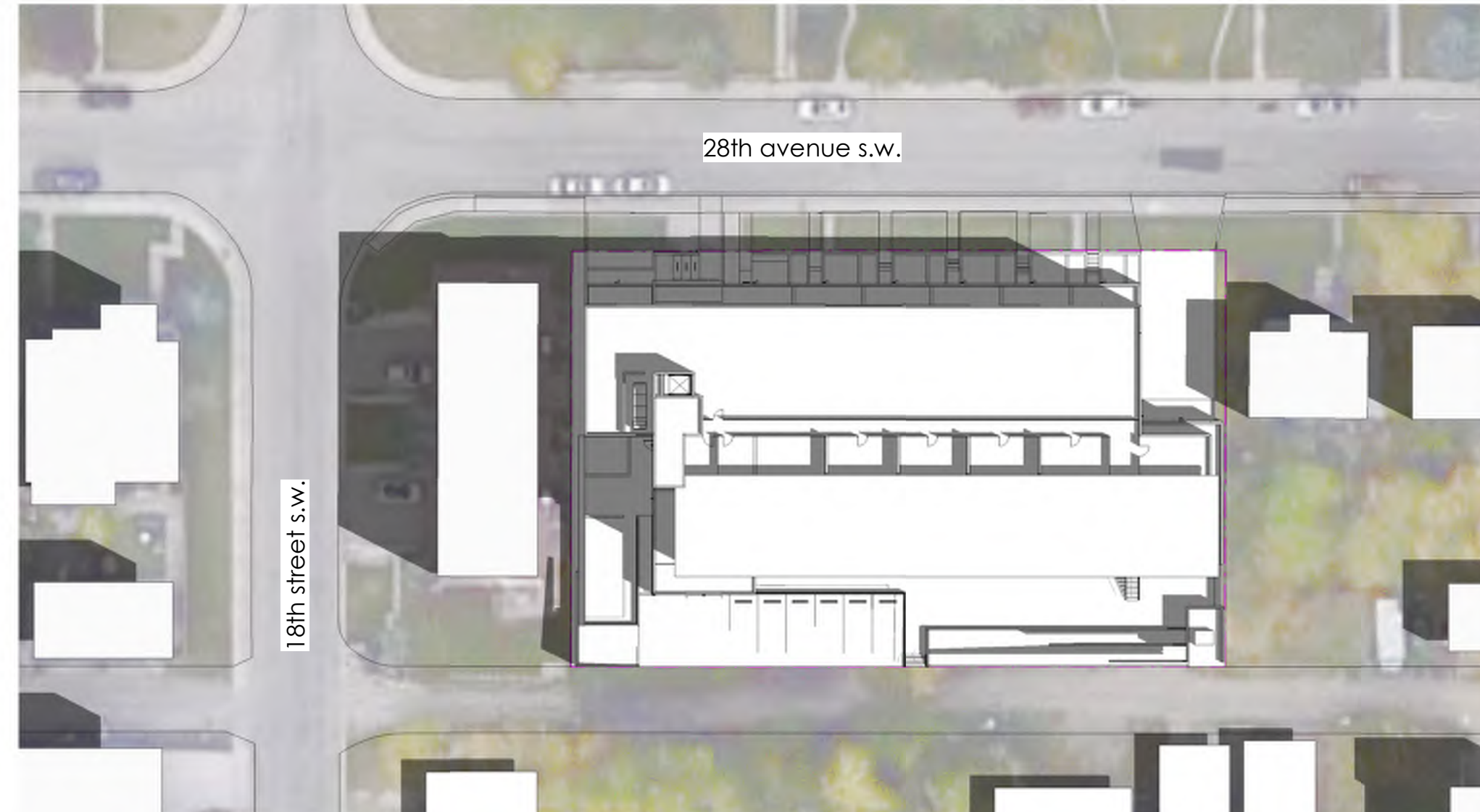
1823 28th Ave SW, Calgary, Alberta
lots 23-30, Block 24, Plan 4479P

DRAWING
3D PERSPECTIVES

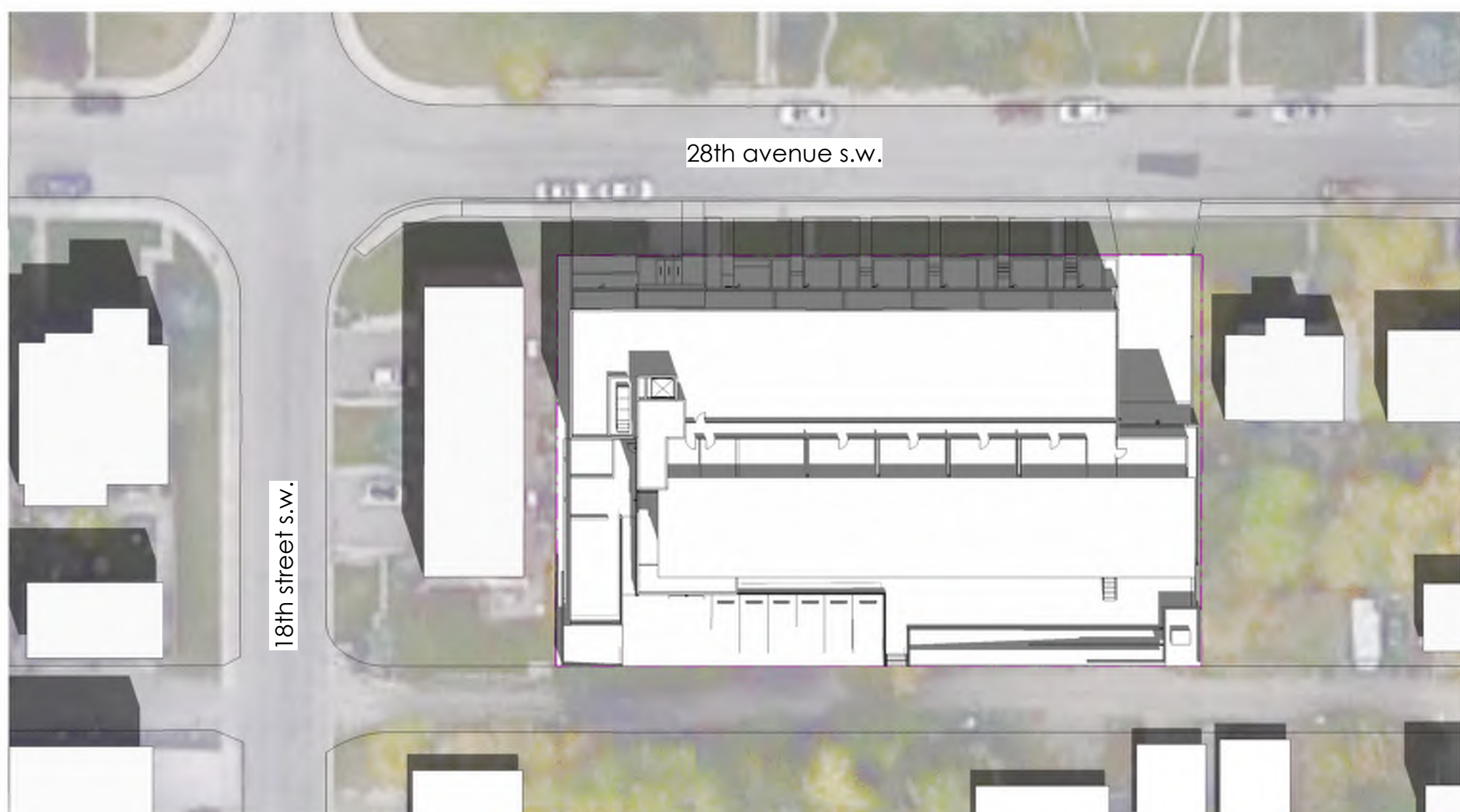
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SCALE AS NOTED		



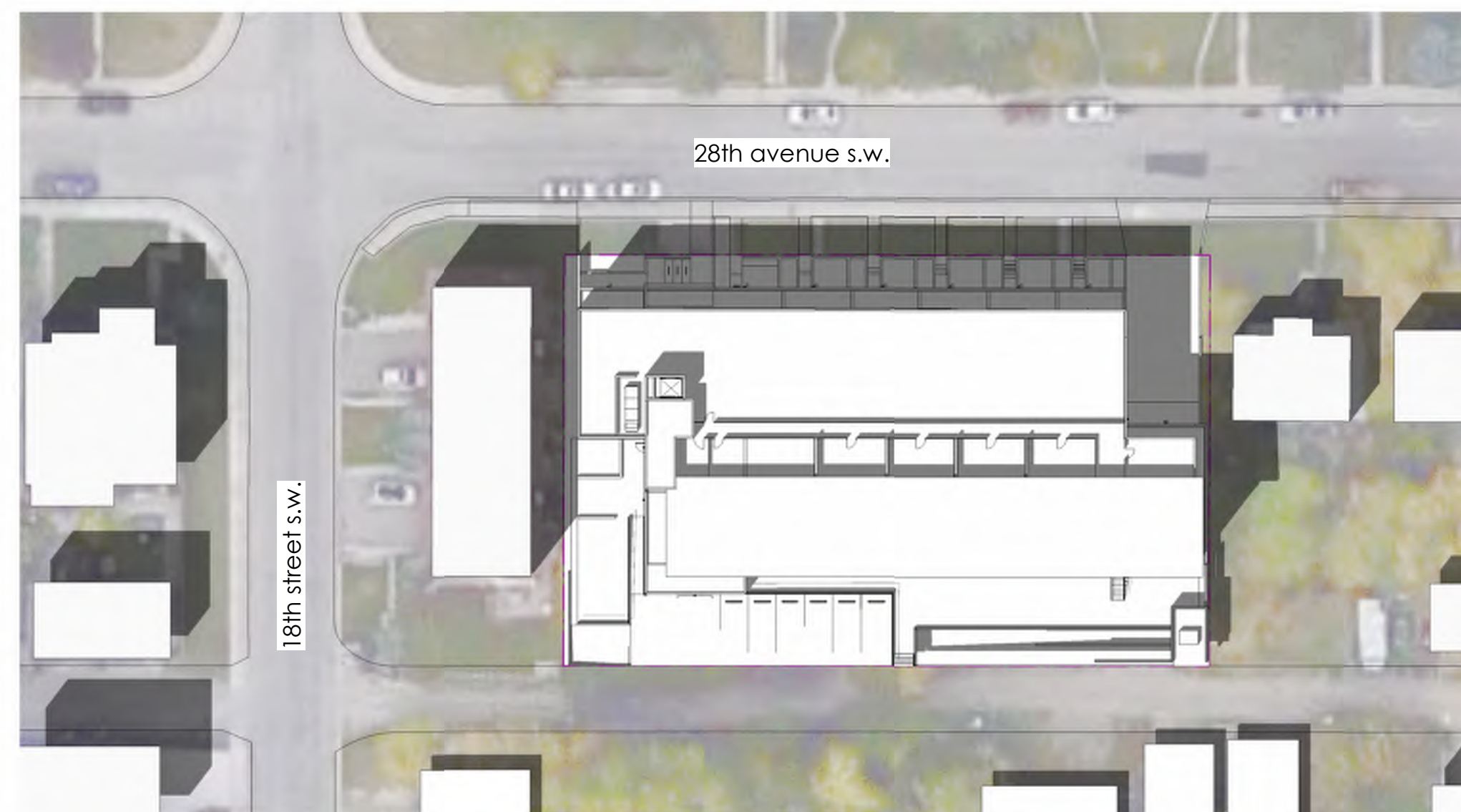
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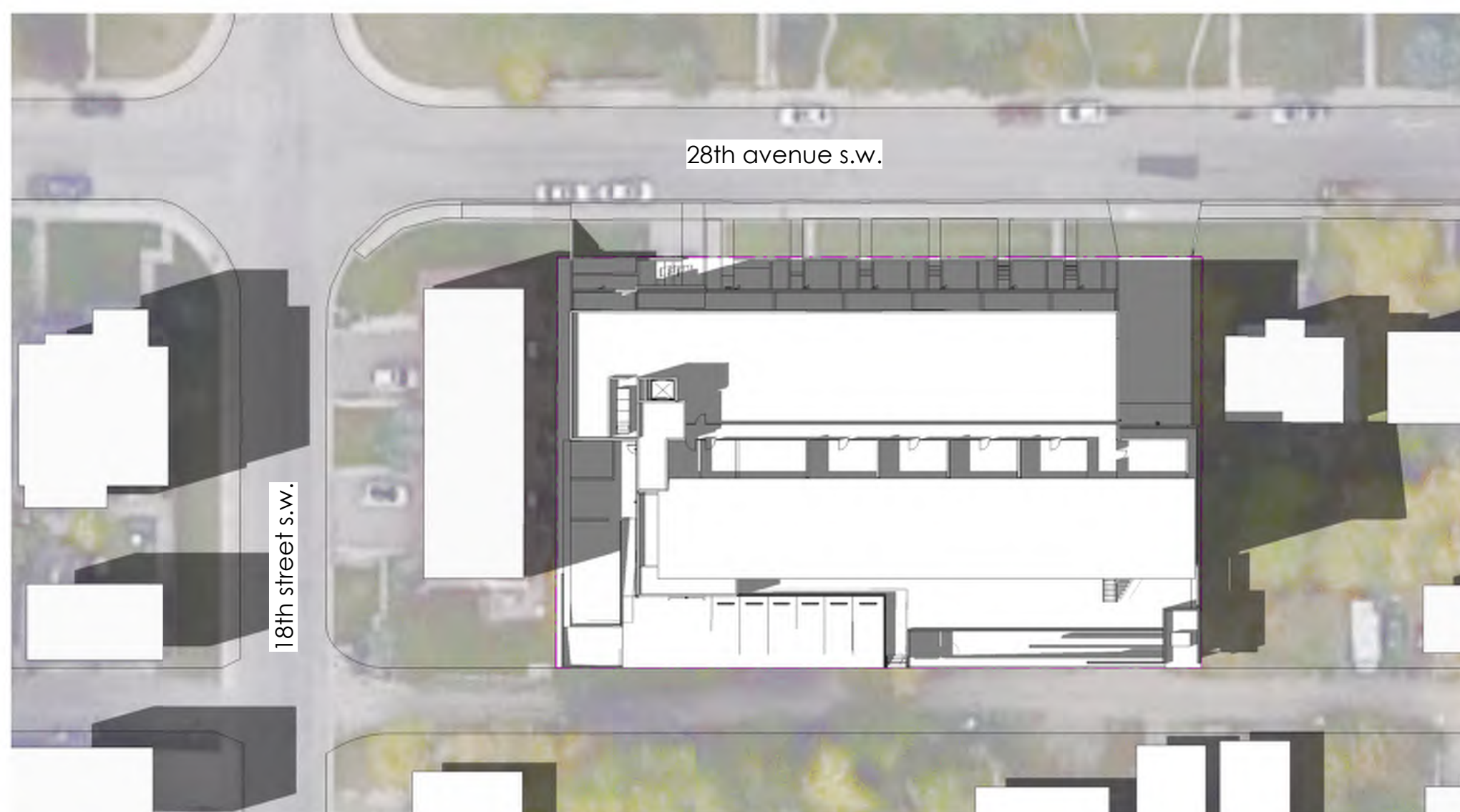
2 June 21 at 10am
DP0.05 1 : 500



3 June 21 at 12pm
DP0.05 1 : 500



5 June 21 at 2pm
DP0.05 1 : 500



4 June 21 at 4pm
DP0.05 1 : 500

JUNE SUMMER SOLSTICE SHADOW STUDY

Note:
Shadow studies are for discussion purpose only. All images shown are an approximate estimation of the potential shadows that could be casted on the proposed design. Design is subject to further development, accurate site survey and services. Shadow studies are created using industry standard software.

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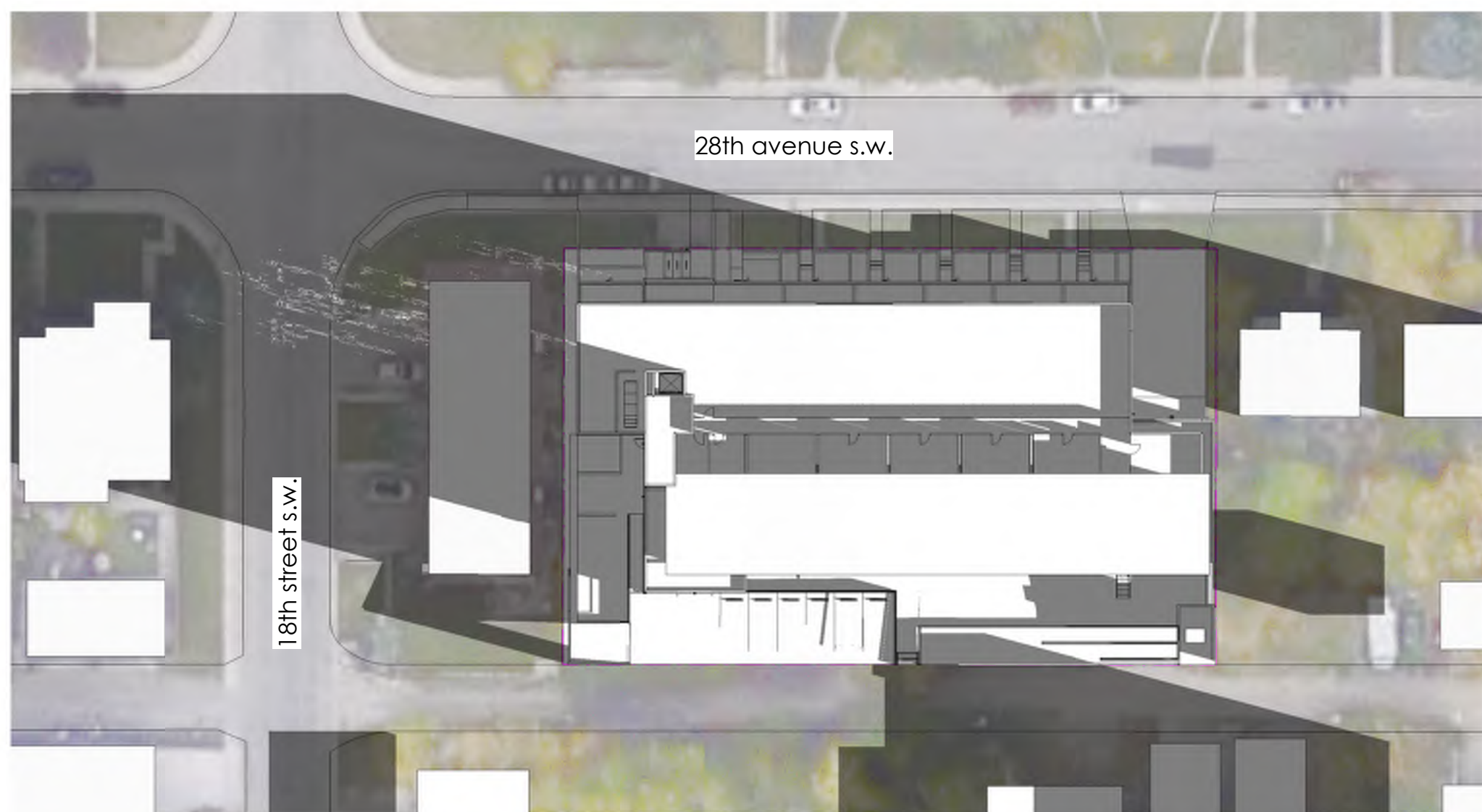
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PROJECT NAME AND ADDRESS
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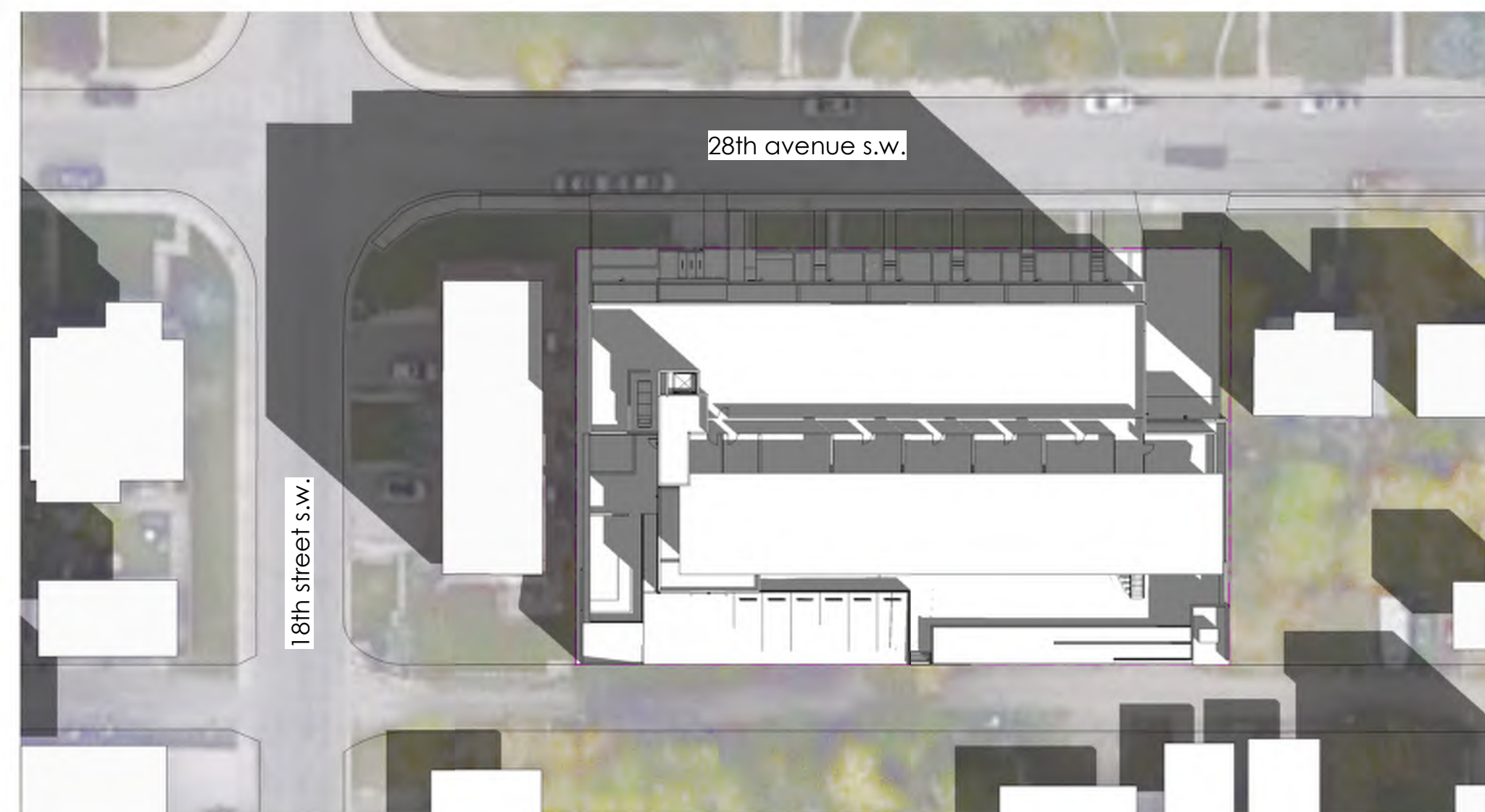
1823 28th Ave SW, Calgary, Alberta
lots 23-30, Block 24, Plan 4479P

DRAWING
SHADOW STUDIES

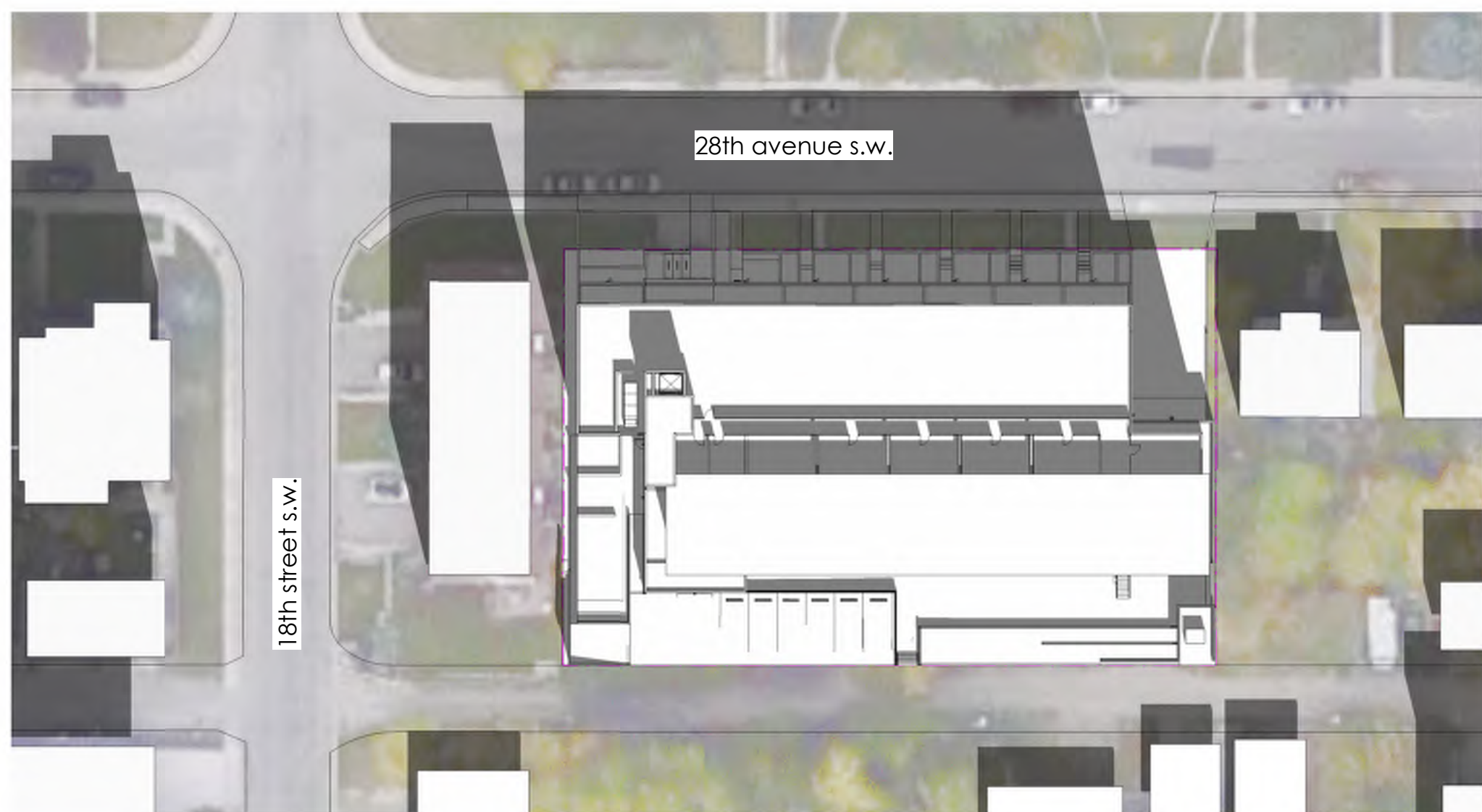
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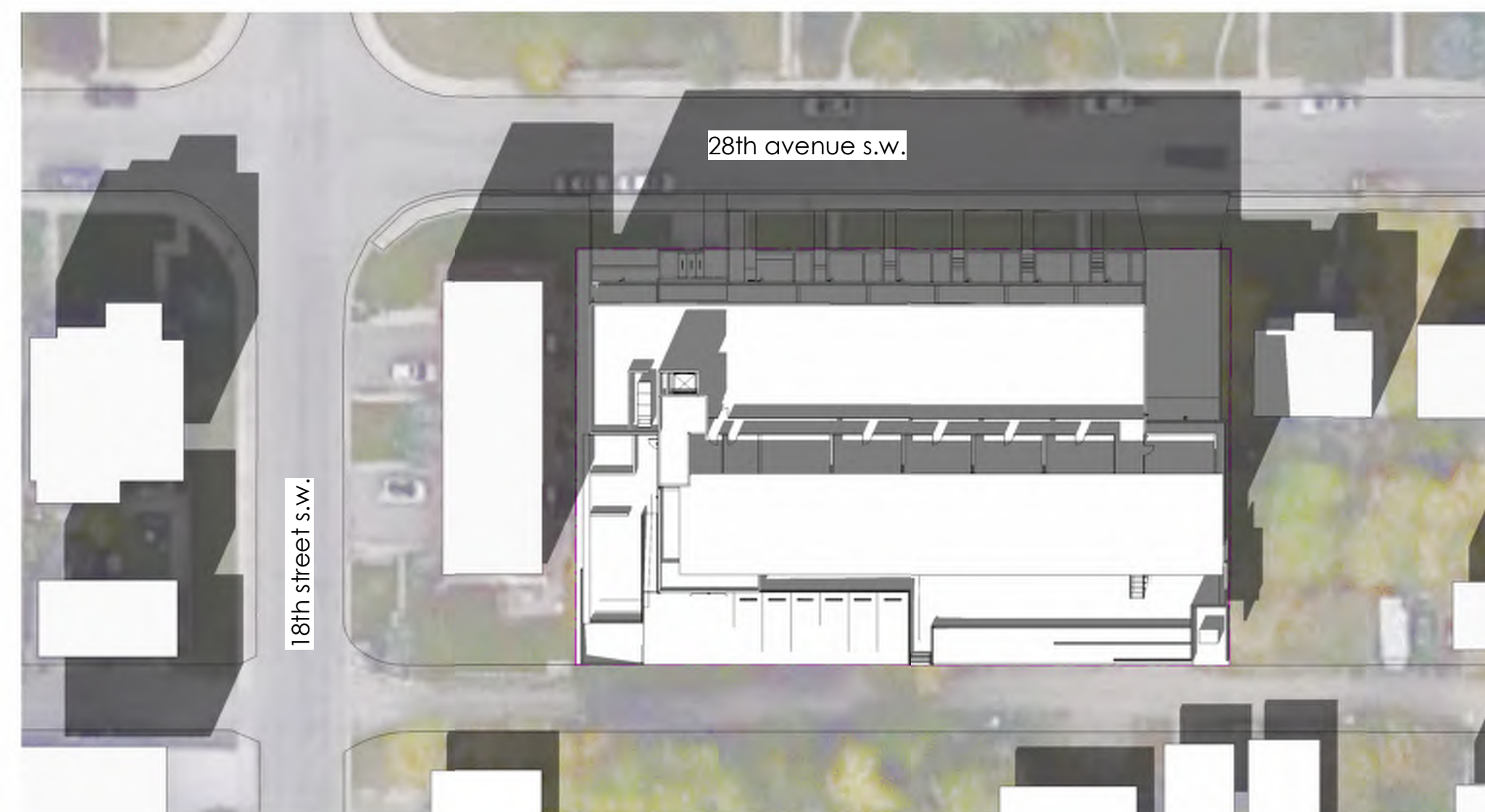
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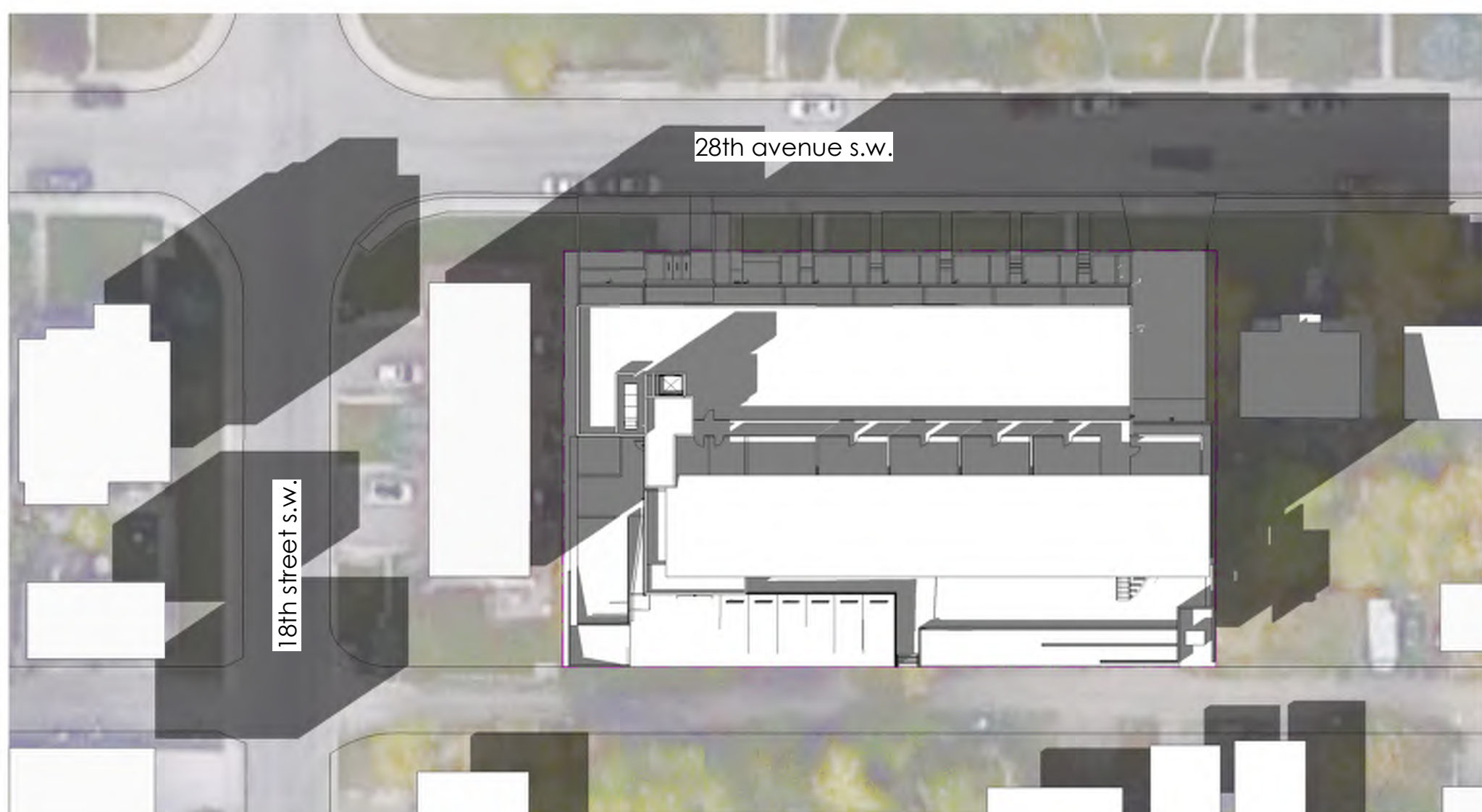
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DP0.06 1 : 500



3 March 21 at 12pm
DP0.06 1 : 500



4 March 21 at 2pm
DP0.06 1 : 500



5 March 21 at 4pm
DP0.06 1 : 500

MARCH/SEPTEMBER EQUINOX SHADOW STUDY

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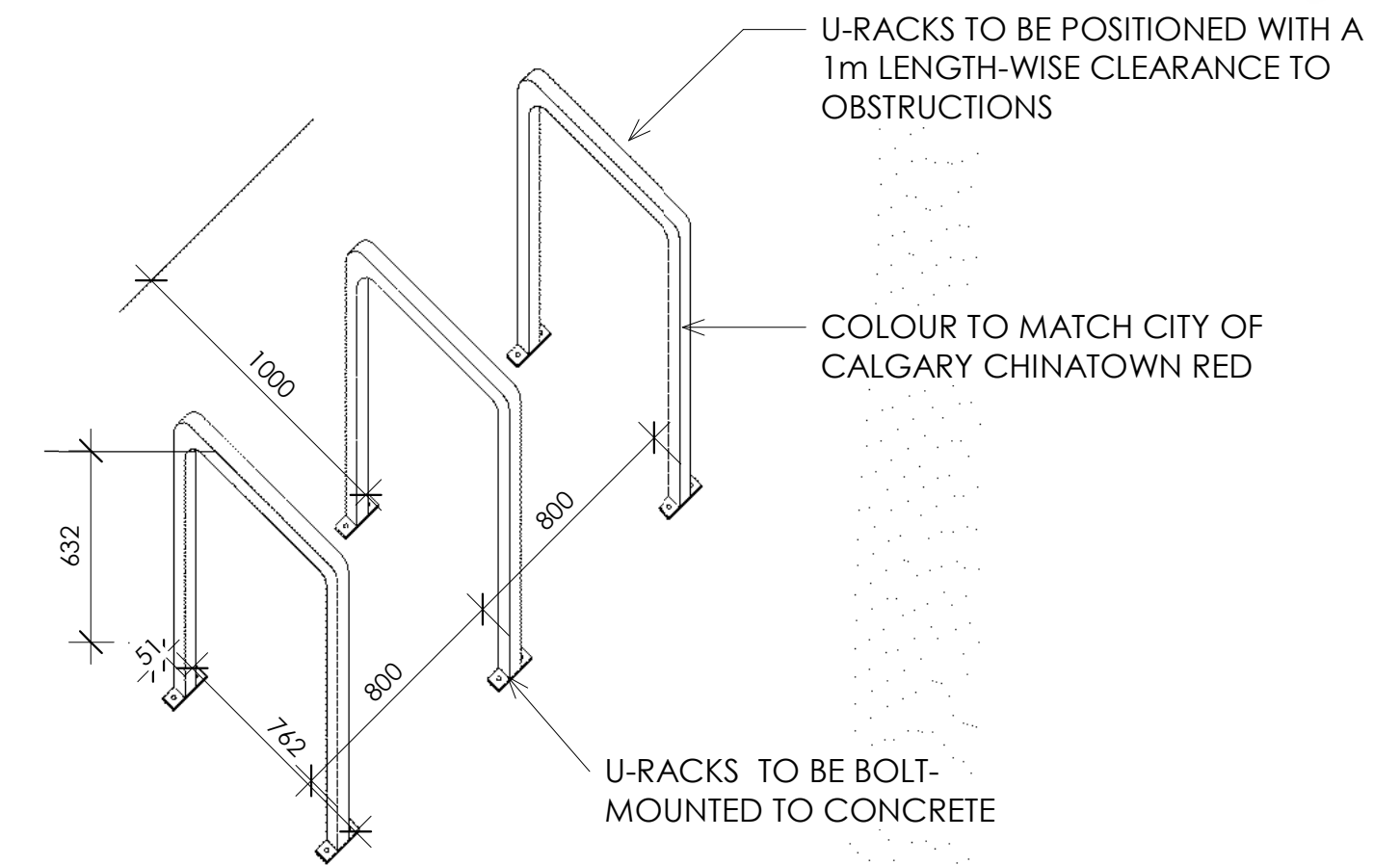
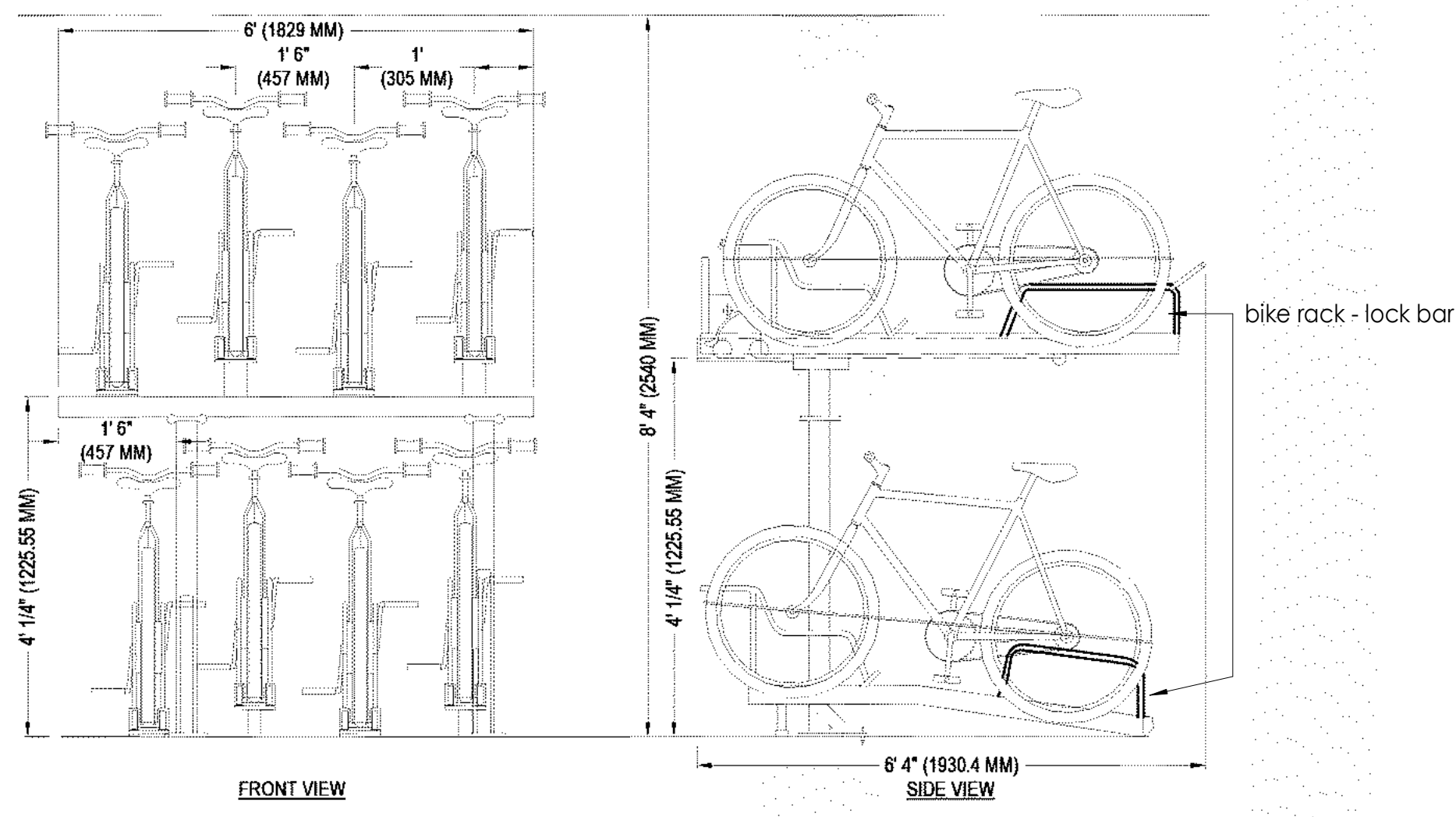
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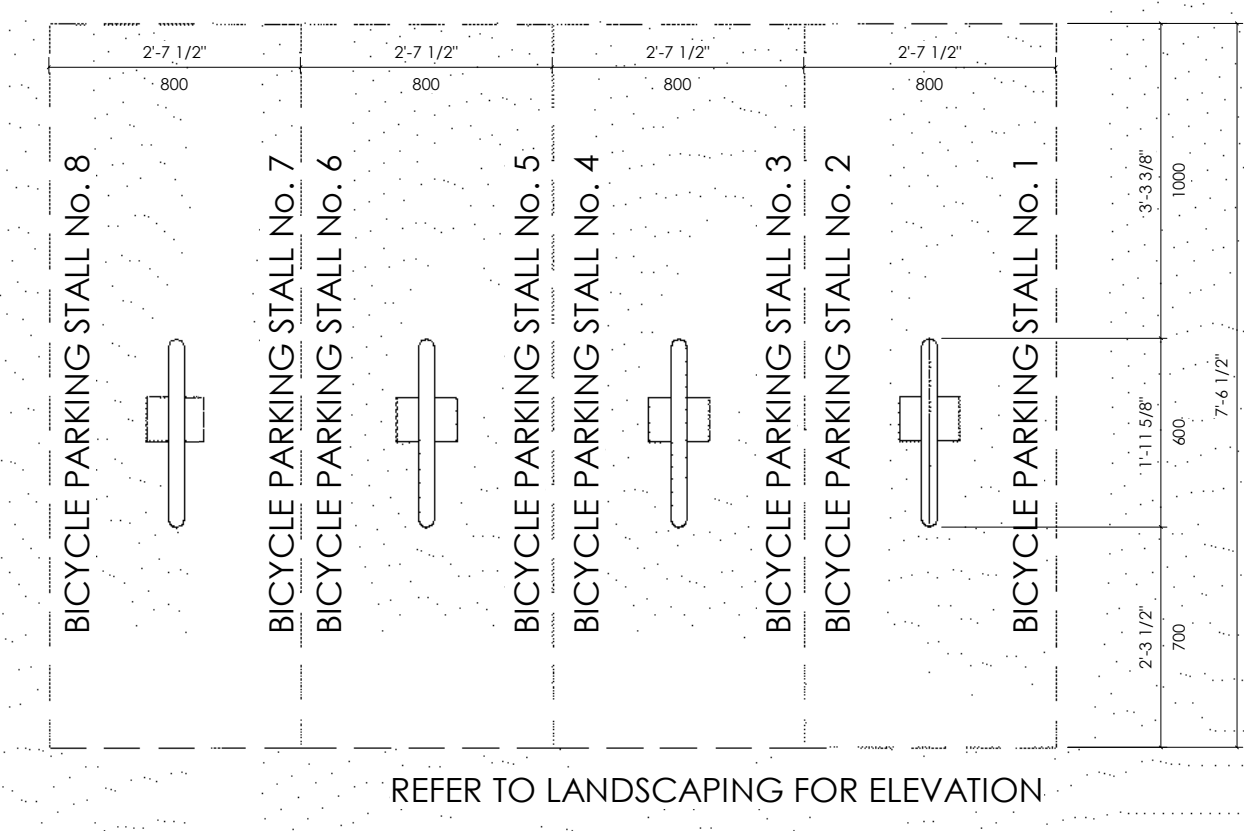
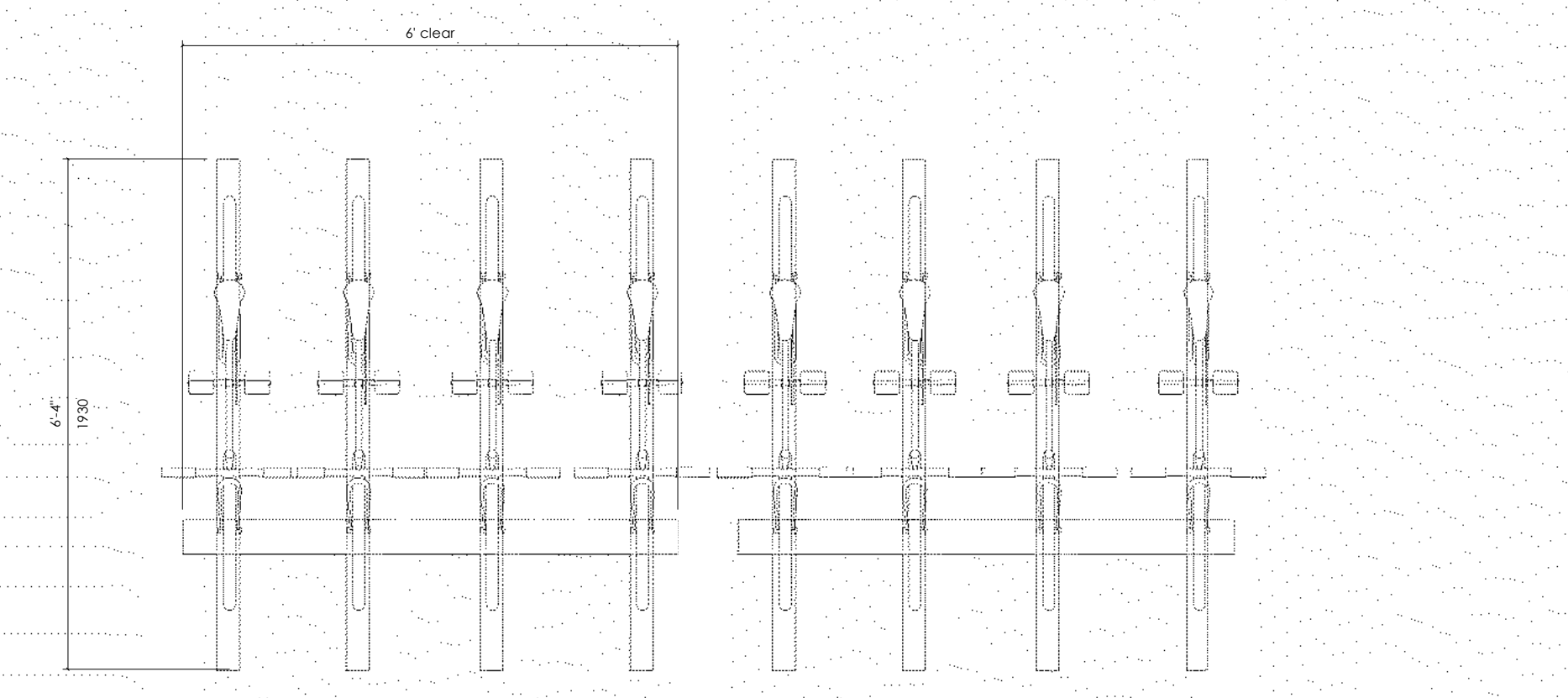
PROJECT NAME AND ADDRESS
AEROPARK
 1823 28th Ave SW, Calgary, Alberta
 lots 23-30, Block 24, Plan 4479P

DRAWING
SHADOW STUDIES

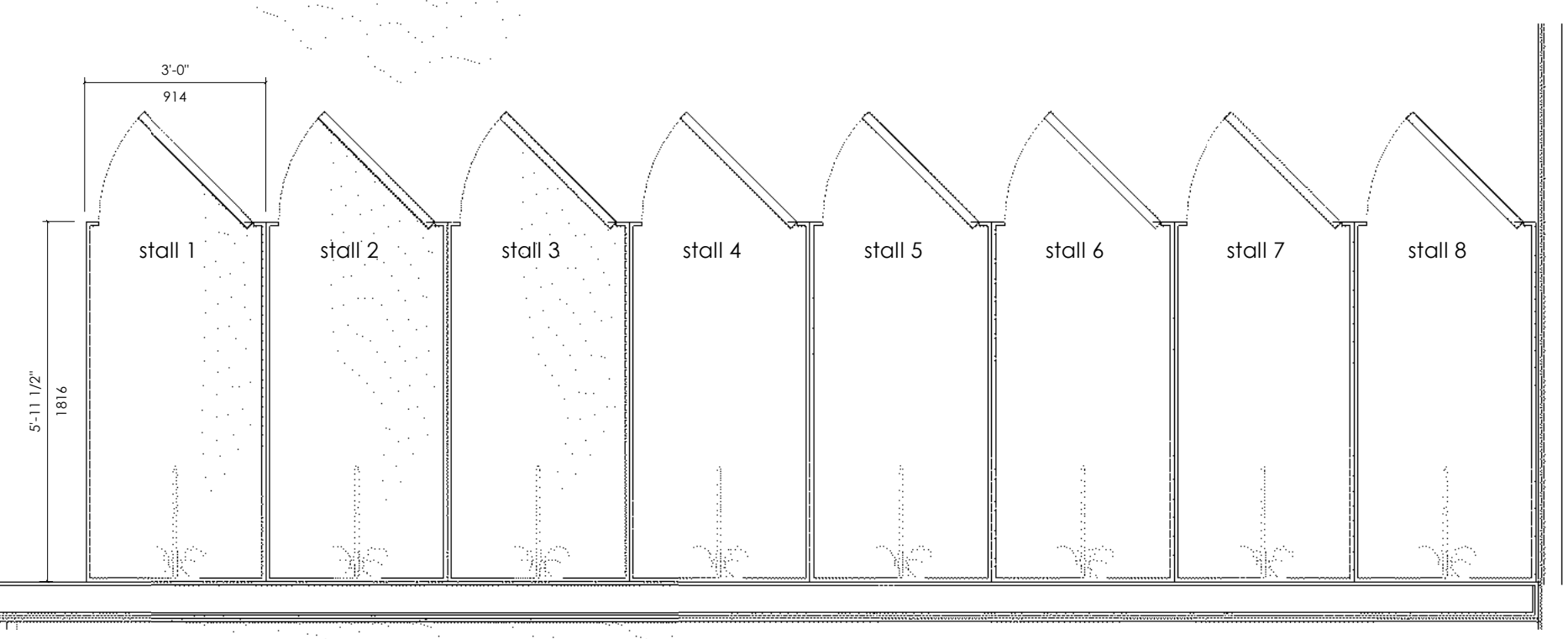
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ISSUE DATE (yy/mm)		DP0.06
SCALE AS NOTED		



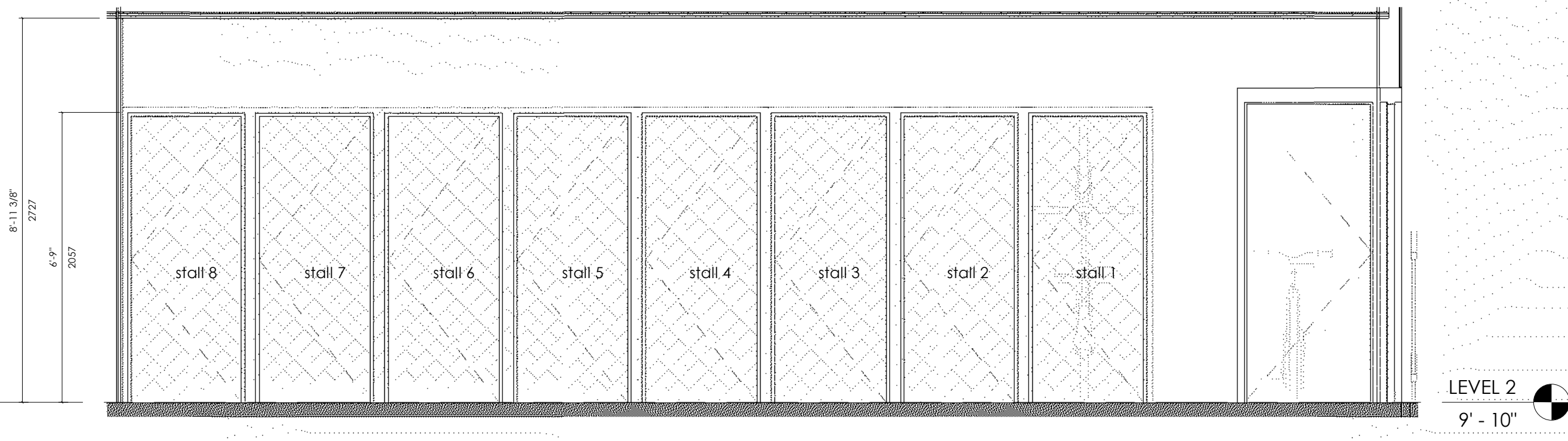
4 Stacked Bicycle Elevations
DP0.07 1/2" = 1'-0"



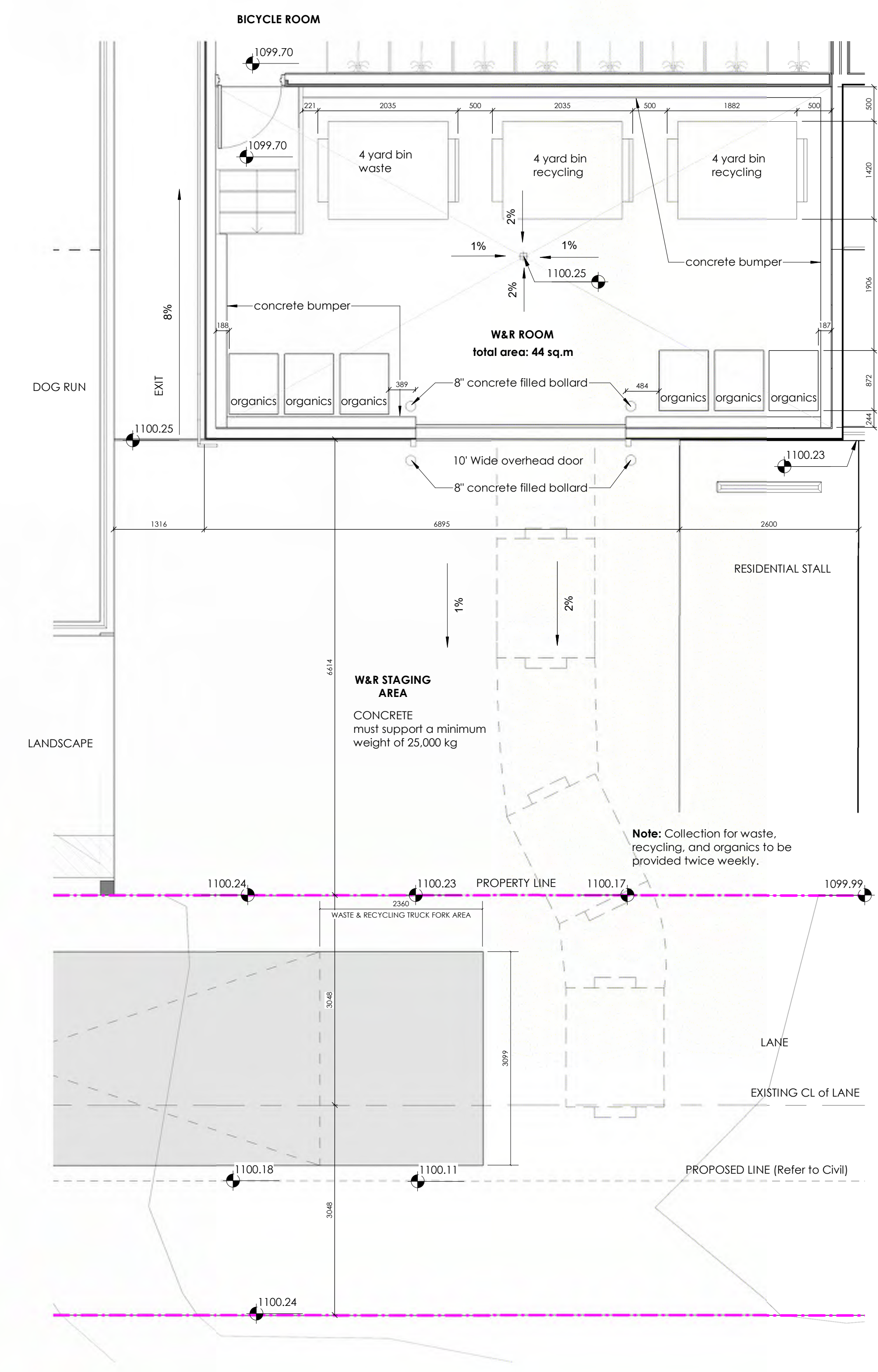
5 Stacked Bicycle Rack Plans
DP0.07 1/2" = 1'-0"



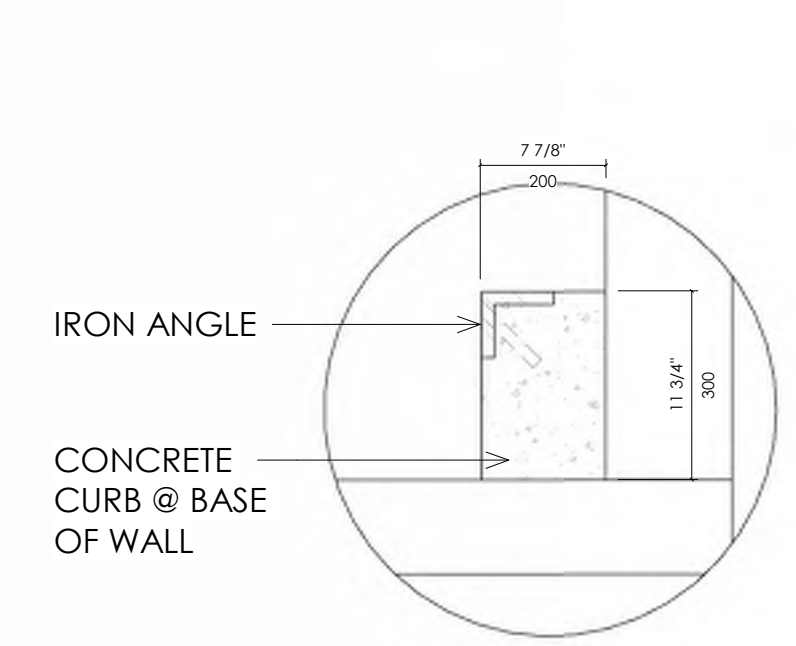
7 Bicycle Lockers Plan
DP0.07 3/8" = 1'-0"



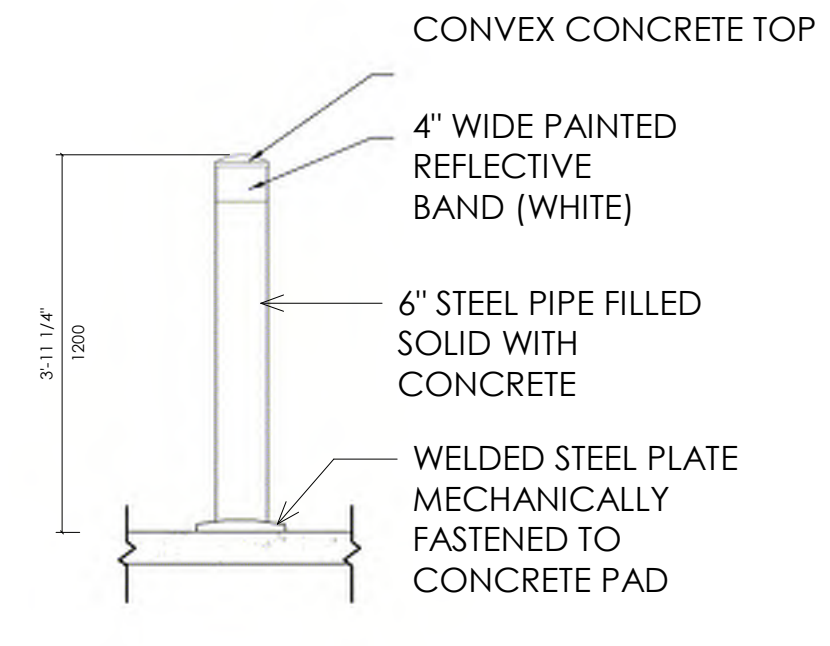
8 Bicycle Locker Elevation
DP0.07 3/8" = 1'-0"



1 WASTE & RECYCLING ROOM
DP0.07 1/4" = 1'-0"



2 Concrete Channel Bumper
DP0.07 1" = 1'-0"



3 Bollard Detail
DP0.07 1/2" = 1'-0"

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PROJECT NAME AND ADDRESS

AEROPARK

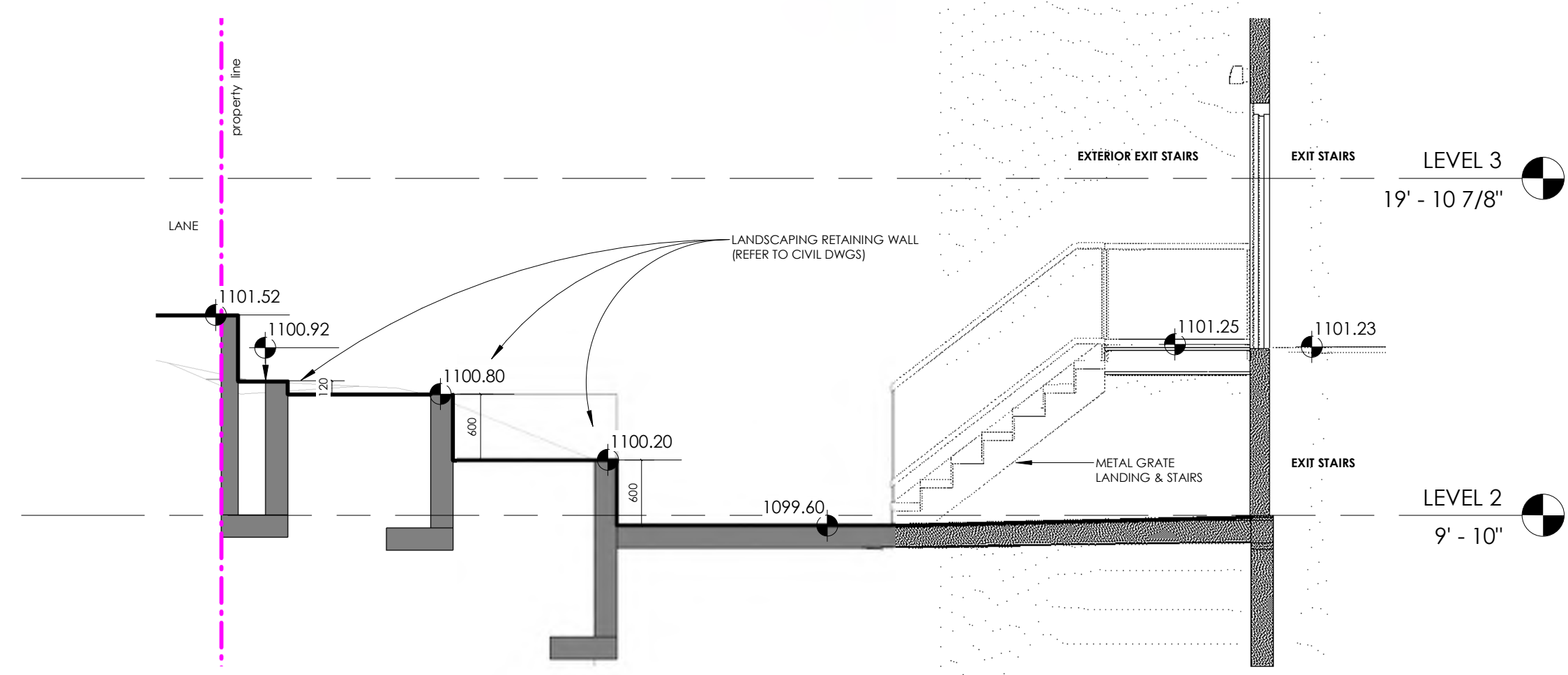
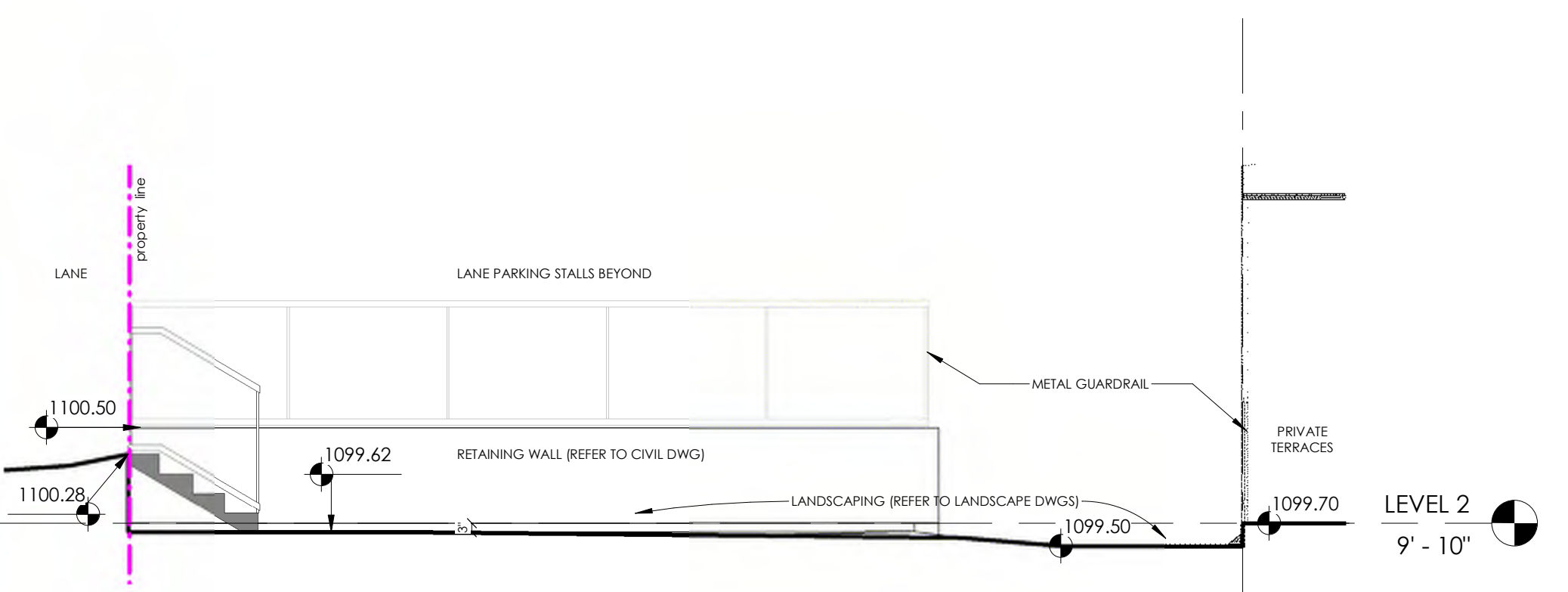
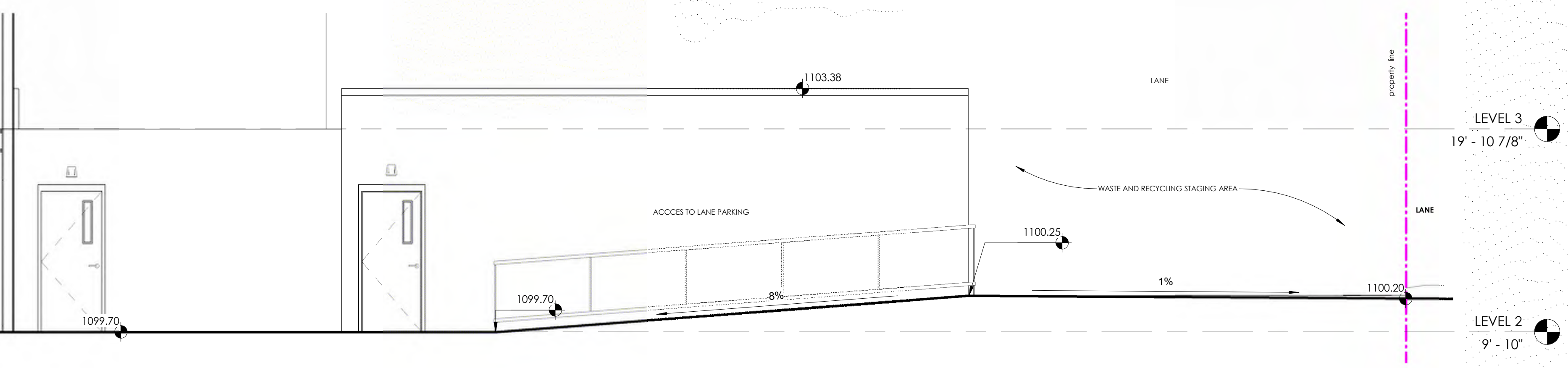
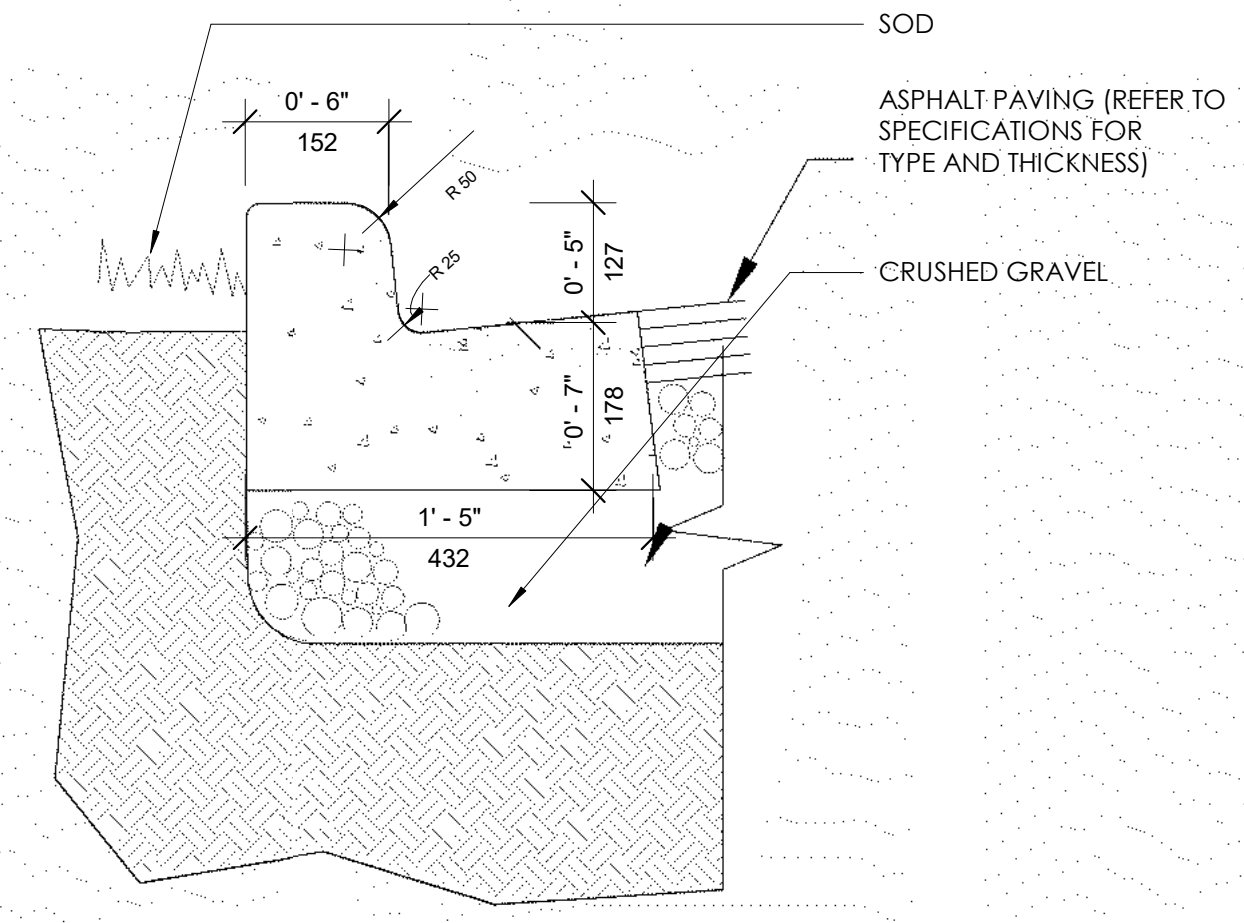
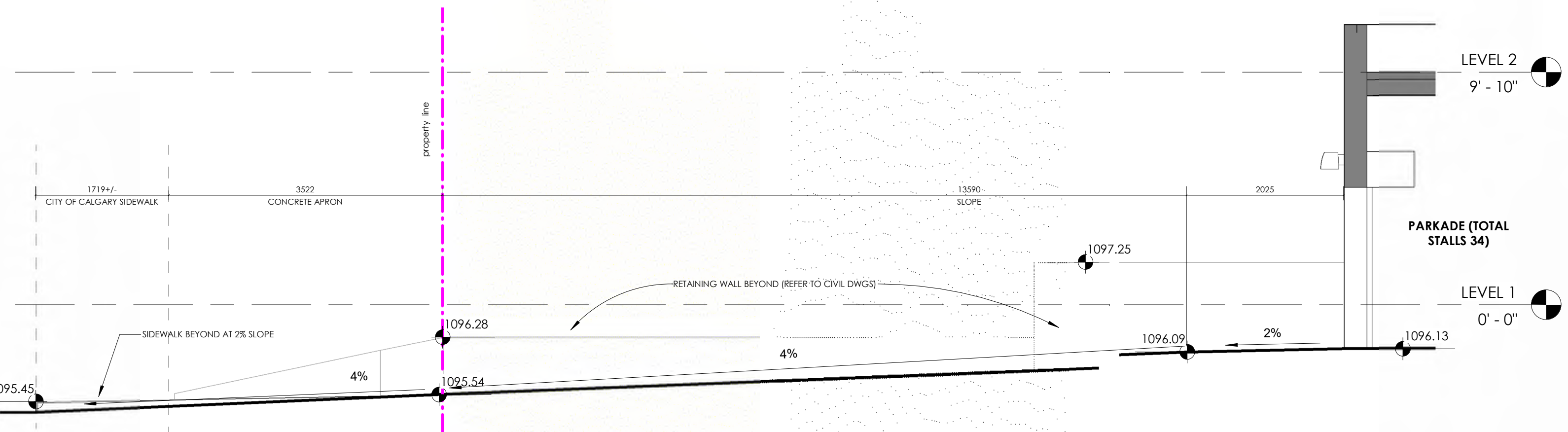
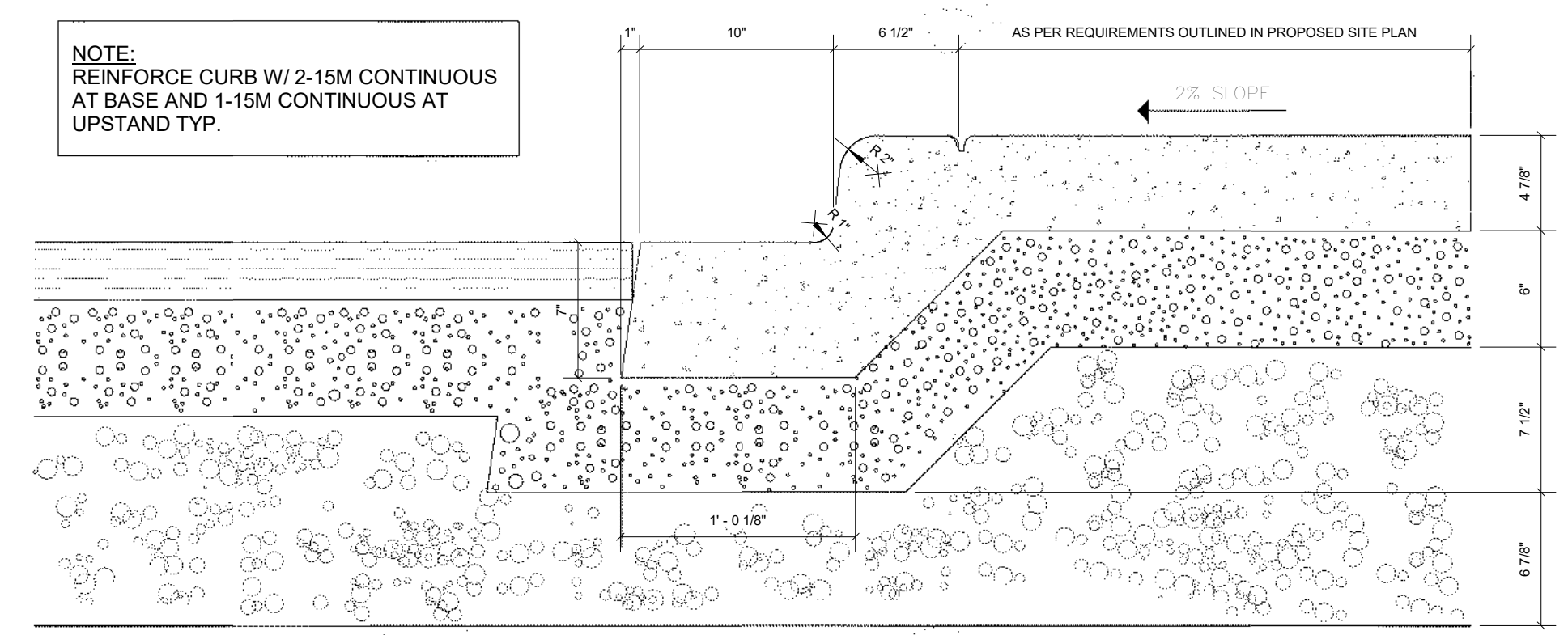
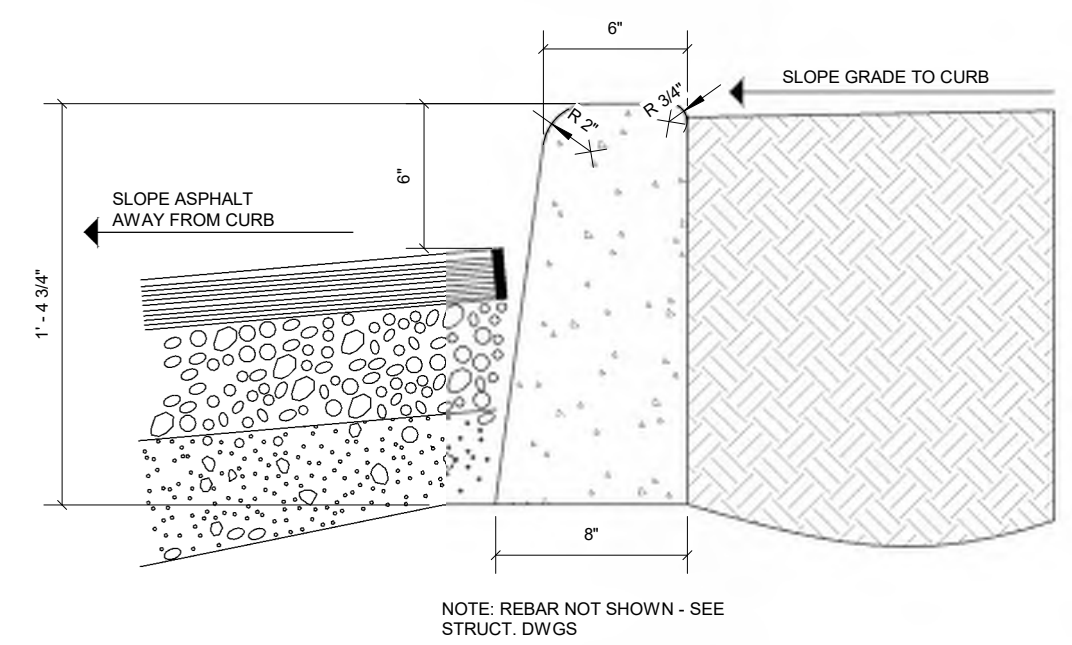
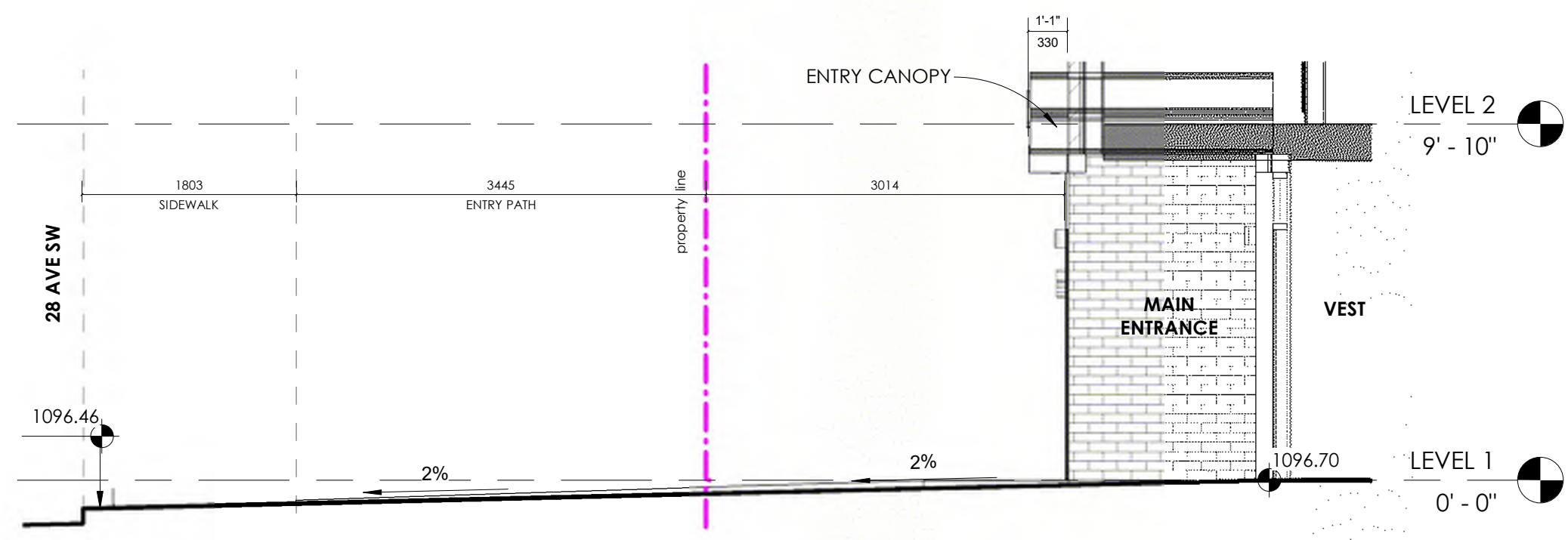
1823 28th Ave SW, Calgary, Alberta
lots 23-30, Block 24, Plan 4479P

DRAWING

SITE DETAILS

DRAWN BY	JOB NO.	Building Permit #
Author	2210	
CHECKED BY		SHEET
Checker		
ISSUE DATE (yy/mm)		
SCALE		
AS NOTED		

DP0.07



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lots 23-30, Block 24, Plan 4479P

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DRAWN BY	JOB NO.	Building Permit #
Author	2210	
CHECKED BY		SHEET
Checker		
ISSUE DATE (yy/mm)		
SCALE		
AS NOTED		

DP0.08

site information

SITE ADDRESS:	1823, 1831, 1835 28th Ave SW, Calgary, Alberta	
LEGAL ADDRESS:	lots 23-30, Block 24, Plan 4479P	
ZONING:	M-C2 Multi-Residential - Contextual Medium Profile	
USE:	DISCRETIONARY LAND USES: MULTI-RESIDENTIAL DEVELOPMENT LEVEL 1: LOBBY / AMENITY SPACE / DWELLING UNITS LEVEL 2-6: DWELLING UNITS	
SITE AREA:	2 262.1 m ² (24 349 sq.ft)	
BUILDING AREA:	56 510 sq.ft. 5250.0m ²	
	PERMITTED (IP2007)	PROPOSED
FAR	Project: 2.5 FAR max.	Project: 2.31
DENSITY	N/A	N/A
BUILDING HEIGHT	16m	16m from lane 16m from 28th Ave SW
FRONT YARD SETBACK (28th AVE)	3.0m setback	3.0m setback
SIDE YARD SETBACK	1.2m setback	1.2m setback
REAR YARD SETBACK (LANE)	1.2m setback	1.2m setback
RESIDENTIAL AMENITY	private amenity space:	private amenity space: every unit with balcony
LANDSCAPE REQUIRED	40% of site area	35% of site area - CONFIRM

project information

Multi Residential Development
Building Type: 5 Storey Wood Frame Construction

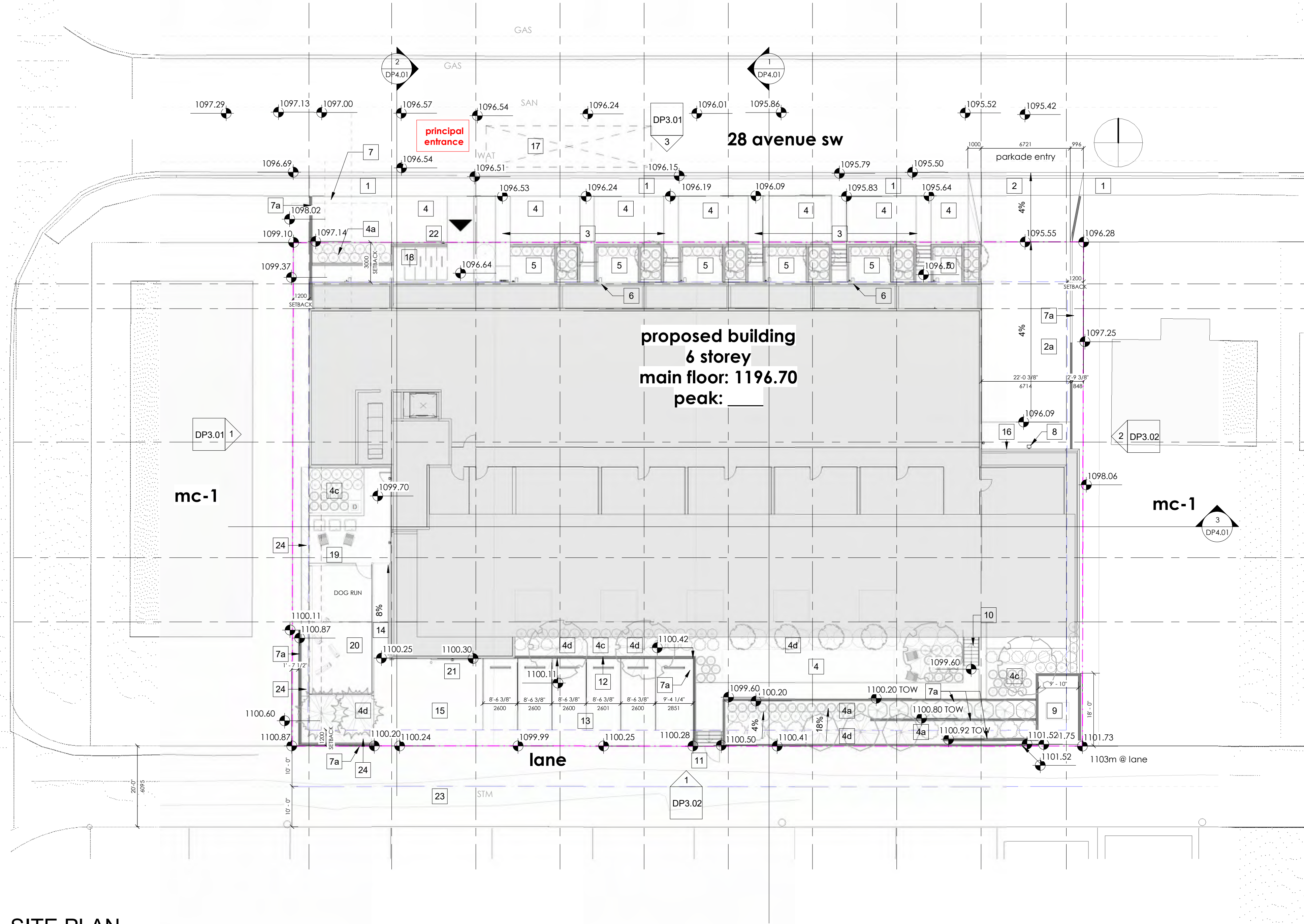
Parkade
Main Floor: Lobby, Residential
2-6 Floor: Residential

GROSS FLOOR AREA	SF	SM	
MAIN FLOOR AREA:	4 592 SF	426.7 SM	6 DWELLING UNITS
2nd FLOOR:	12 871 SF	1195.8 SM	8 DWELLING UNITS
3rd FLOOR:	11 659 SF	1083.2 SM	15 DWELLING UNITS
4th FLOOR:	11 659 SF	1083.2 SM	15 DWELLING UNITS
5th FLOOR:	11 659 SF	1083.2 SM	15 DWELLING UNITS
6th FLOOR:	4 067 SF	377.9 SM	6 DWELLING UNITS
TOTAL:	56 510 SF	5250.0 SM	65 DWELLING UNITS

PARKING	Residential:	Residential:
PARKING	0.625 per dwelling unit (65 x 0.625 = 40.625) total: 41 required	34 stalls provided 6 visitors stalls provided loading and visitor combined total: 40 stalls provided
BARRIER FREE	As per NBC (AE) 2019 Table: 3.8.2.5 3 stalls per 26-50 stalls	total: 3 stalls in parkade
LOADING STALL	1 loading stall	1 loading stall to be proposed on 28th Ave. (offsite)
BICYCLE PARKING	Class 1: 1 per Unit (65) Class 2: 0.1 per unit (7)	Class 1: 1 per Unit (68) Class 2: 0.1 per unit (7)

UNIT COUNT PER FLOOR	TH	STUDIO	1 BEDROOM	2 BEDROOM JR	2 BEDROOM	
MAIN FLOOR AREA:	6	0	0	0	0	6
2nd FLOOR:	0	0	2	5	1	8
3rd FLOOR:	0	1	6	7	1	15
4th FLOOR:	0	1	6	7	1	15
5th FLOOR:	0	1	6	7	1	15
6th FLOOR:	0	0	5	0	1	6
TOTAL:	6	3	25	26	5	65

SUMMARY	
TOTAL RESIDENTIAL UNITS:	65
AVERAGE RESIDENTIAL UNITS:	SF
COMMON AREA:	8 754 SF
NET RENTABLE AREA:	47 756 SF
GROSS FLOOR AREA:	56 510 SF
BUILDING EFFICIENCY:	85 %



1 SITE PLAN
1/16" = 1'-0"

MAIN FLOOR AREA:	
COMMON AREA:	1551 SF
SALEABLE / RENTABLE AREA:	3042 SF
TOTAL FLOOR AREA:	4593 SF
EFFICIENCY:	66%
LEVEL 2 FLOOR AREA:	
COMMON AREA:	2 644 SF
SALEABLE / RENTABLE AREA:	10 228 SF
TOTAL FLOOR AREA:	12 872 SF
EFFICIENCY:	79%
LEVEL 3-5 FLOOR AREA (TYP):	
COMMON AREA:	1 334 SF
SALEABLE / RENTABLE AREA:	10 325 SF
TOTAL FLOOR AREA:	11 659 SF
EFFICIENCY:	89%
LEVEL 6:	
COMMON AREA:	556 SF
SALEABLE / RENTABLE AREA:	3 511 SF
TOTAL FLOOR AREA:	4067 SF
EFFICIENCY:	86%

waste & recycling

RESIDENTIAL REQUIREMENTS:	TO BE PRIVATELY COLLECTED
REQUIREMENTS:	WASTE PRODUCED PER UNIT: 65 units UNITS 0.3 CUBIC YARD TOTAL WASTE PER WEEK: 19.5 CUBIC YARD BIN SIZE: 4 CUBIC YARD # OF BINS REQUIRED: 5 BINS (4.9)
TOTAL PROVIDED:	PROVIDED: 3 BINS 4 CUBIC YARD BINS & 6 x 360L CARTS 1 WASTE + 2 RECYCLING + 6 COMPOST = 16 CUBIC YARDS PROVIDE PICKUP 2X WEEKLY = 32 CUBIC YARD WEEKLY PICKUP

SITE LEGEND

- 1 EXISTING CITY OF CALGARY SIDEWALK - SEE LANDSCAPE FPR DETAILS
- 2 NEW CONCRETE SLAB APRON - AS PER CoC ROAD STANDARDS
- 2a NEW CONCRETE DRIVE AISLE
- 3 NEW CONCRETE PATHWAY TO AT GRADE UNITS
- 4 PROPOSED SOD - REFER TO LANDSCAPE DWGS
- 4a PLANTER - REFER TO LANDSCAPE DWGS
- 4c PROPOSED LANDSCAPING - REFER TO LANDSCAPE DWGS
- 4d PROPOSED NEW TREE - REFER TO LANDSCAPE DWGS
- 5 PROPOSED PRIVATE TERRACE - REFER TO LANDSCAPE DWGS
- 6 CANOPY FEATURE
- 7 EXISTING RETAINING WALL TO BE REMOVED
- 7a PROPOSED RETAINING WALL - REFER TO CIVIL DRAWINGS FOR HEIGHTS
- 8 OVERHEAD DOOR LIGHT
- 9 TRANSFORMER ON CONCRETE PAD
- 10 PROPOSED METAL GRATE STAIR
- 11 METAL GATE
- 12 METAL GUARDRAIL
- 13 100 WIDE PAINTED PARKING LINES (WHITE)
- 14 BARRIER FREE RAMP / PATHWAY WITH RAILING

SITE LEGEND

- 15 CONCRETE STAGING/ COLLECTION AREA - MIN 25,000 KG CAPACITY
MIN 6.8m OVERHEAD CLEARANCE
- 16 PARKADE OVERHEAD GARAGE DOOR (6100 X 2440)
- 17 PROPOSED LOADING STALL (3.1 X 7.2 X 4.3 M CLEARANCE ABOVE) - OFF SITE
- 18 CLASS 2 BICYCLE STALLS ON CONCRETE PAD
- 19 PROPOSED AMENITY AREA
- 20 PROPOSED FENCED IN DOG RUN AREA - REFER TO LANDSCAPE DWGS
- 21 W&R OVERHEAD DOOR - REFER TO DETAILS
- 22 SIAMESE CONNECTION
- 23 LANE TO BE PAVED AT DEVELOPERS EXPENSE
- 24 600mm SWALE AS PER CIVIL DWGS

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Revision Schedule		
Number	Date (yy/mm/dd)	Description
2023-02-25	DP SUBMISSION	

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bus: (403) 287-9960 fax: (403) 287-9962 info@ckarch.ca

PROJECT NAME AND ADDRESS

AEROPARK

1823 28th Ave SW, Calgary, Alberta
lots 23-30, Block 24, Plan 4479P

DRAWING

SITE PLAN & SITE/PROJECT INFORMATION

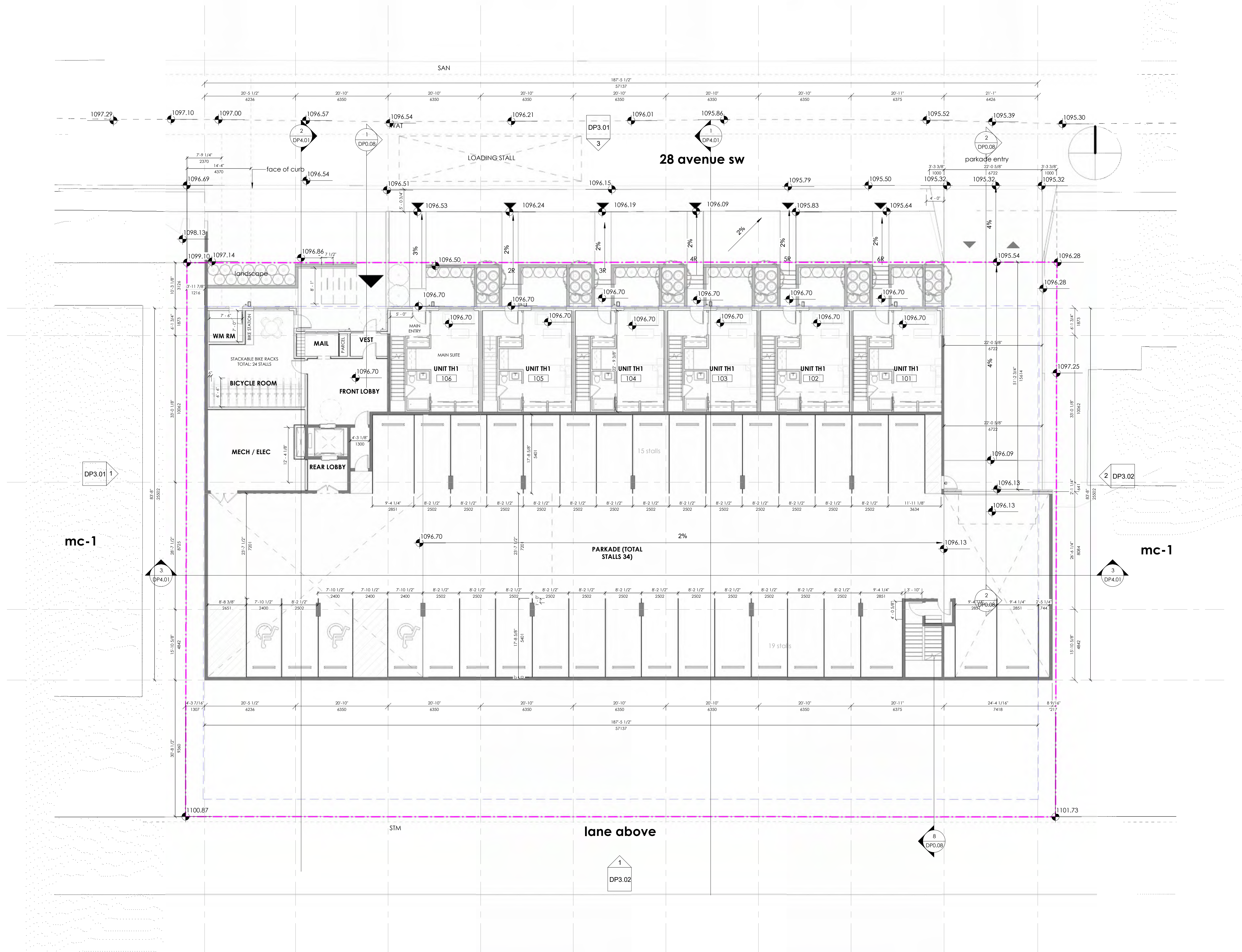
DRAWN BY	JOB NO.	Building Permit #
Author	2210	
CHECKED BY		SHEET
Checker		
ISSUE DATE (yy/mm)		

DP1.01

SCALE:
AS NOTED

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Revision Schedule		
Number	Date (yy/mm/dd)	Description
1	2023-02-25	DP SUBMISSION



1
 DP2.01 LEVEL 1 FLOOR PLAN
 3/32" = 1'-0"

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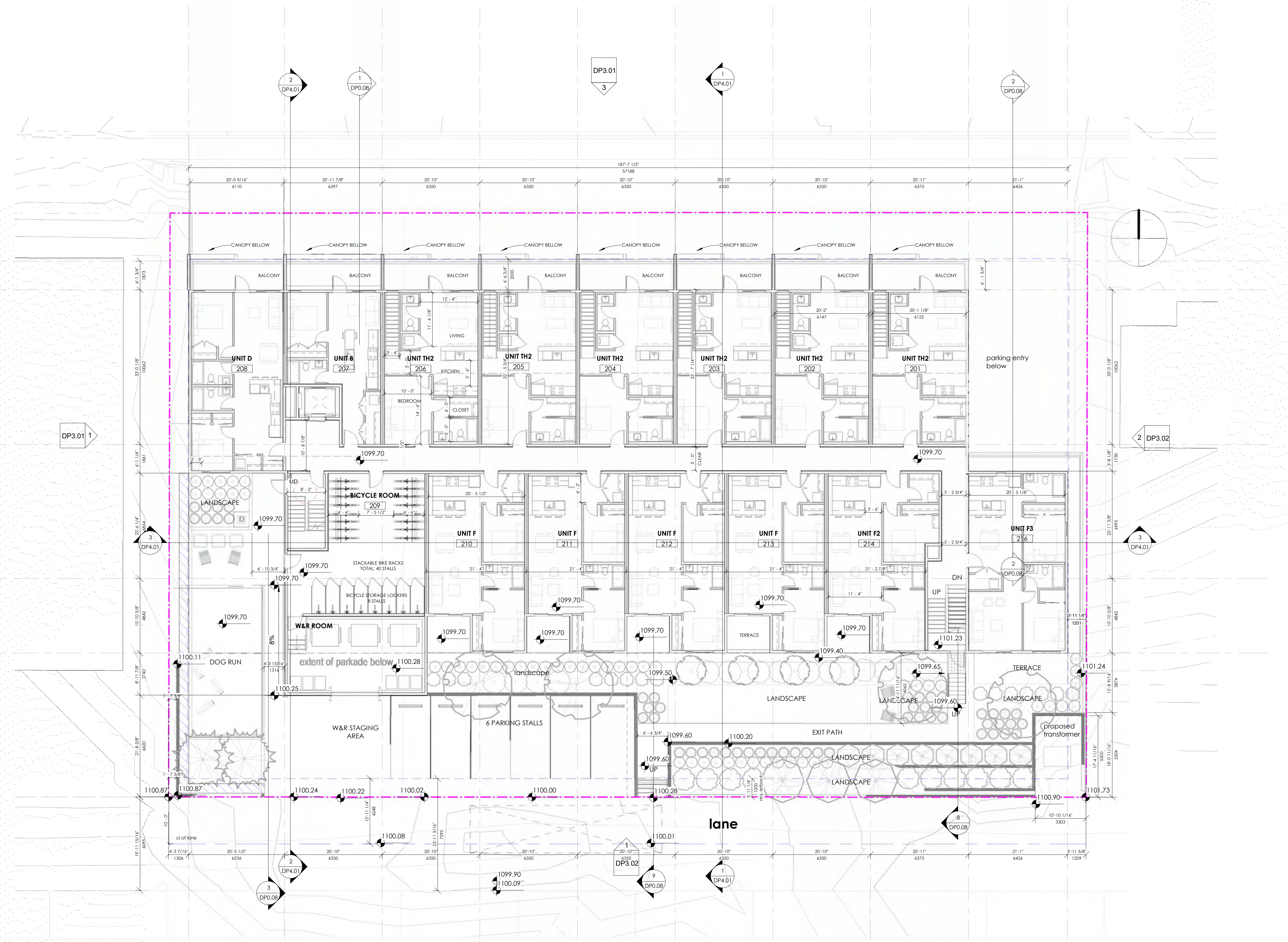
PROJECT NAME AND ADDRESS
AEROPARK
 1823 28th Ave SW, Calgary, Alberta
 lots 23-30, Block 24, Plan 4479P

DRAWING
LEVEL 1 FLOOR PLAN

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ISSUE DATE (yy/mm)		
SCALE AS NOTED		DP2.01

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Revision Schedule		
Number	Date (yy/mm/dd)	Description
1	2023-02-25	DP SUBMISSION



1 LEVEL 2 FLOOR PLAN
 3/32" = 1'-0"

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PROJECT NAME AND ADDRESS
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DRAWING
LEVEL 2 FLOOR PLAN

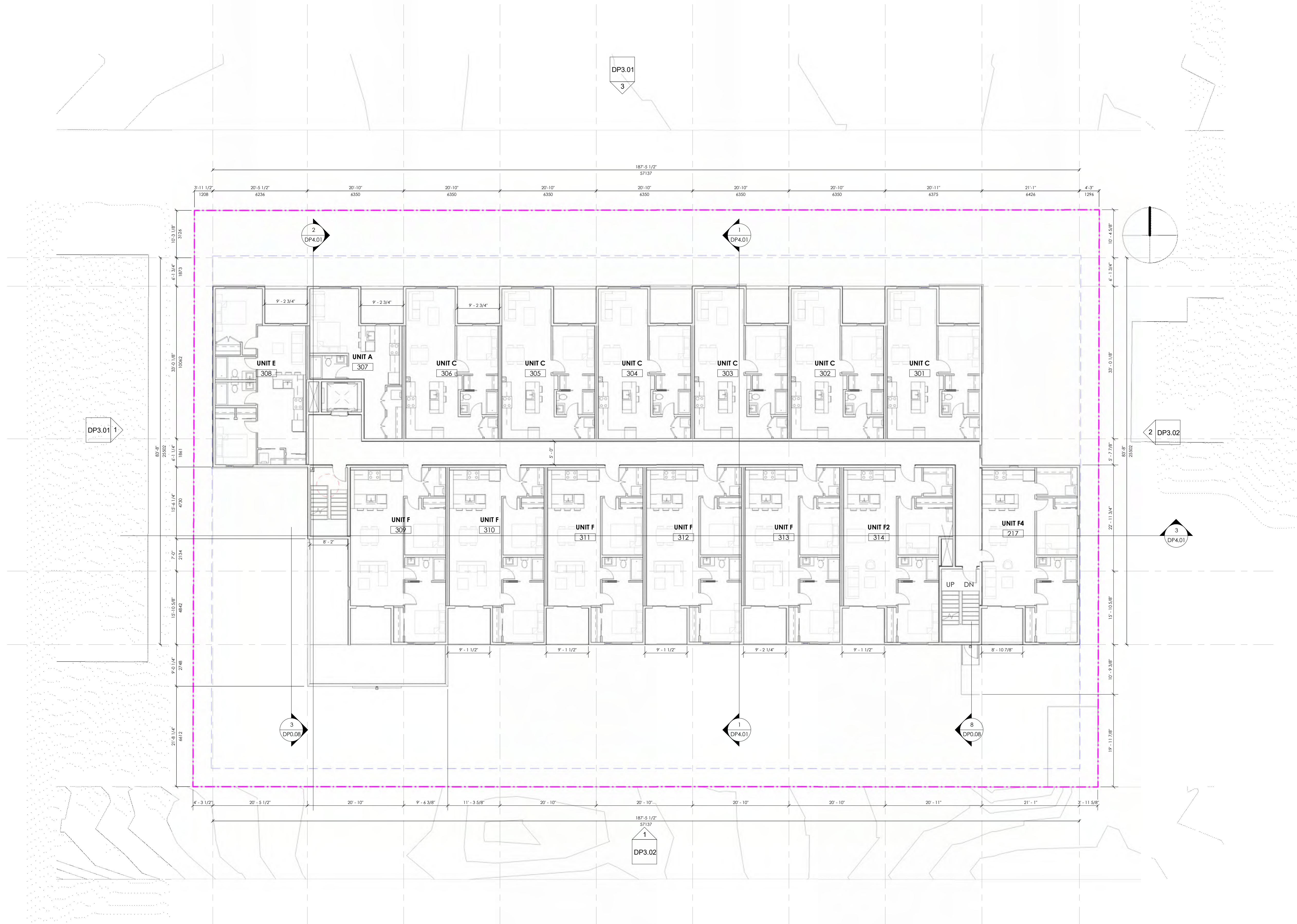
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ISSUE DATE (yy/mm)		
SCALE		
AS NOTED		

DP2.02

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Revision Schedule		
Number	Date (yy/mm/dd)	Description
1	2023-02-25	DP SUBMISSION



1 LEVEL 3 FLOOR PLAN
 3/32" = 1'-0"

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 lots 23-30, Block 24, Plan 4479P

DRAWING
LEVEL 3-5 FLOOR PLAN

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DP2.03

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Revision Schedule		
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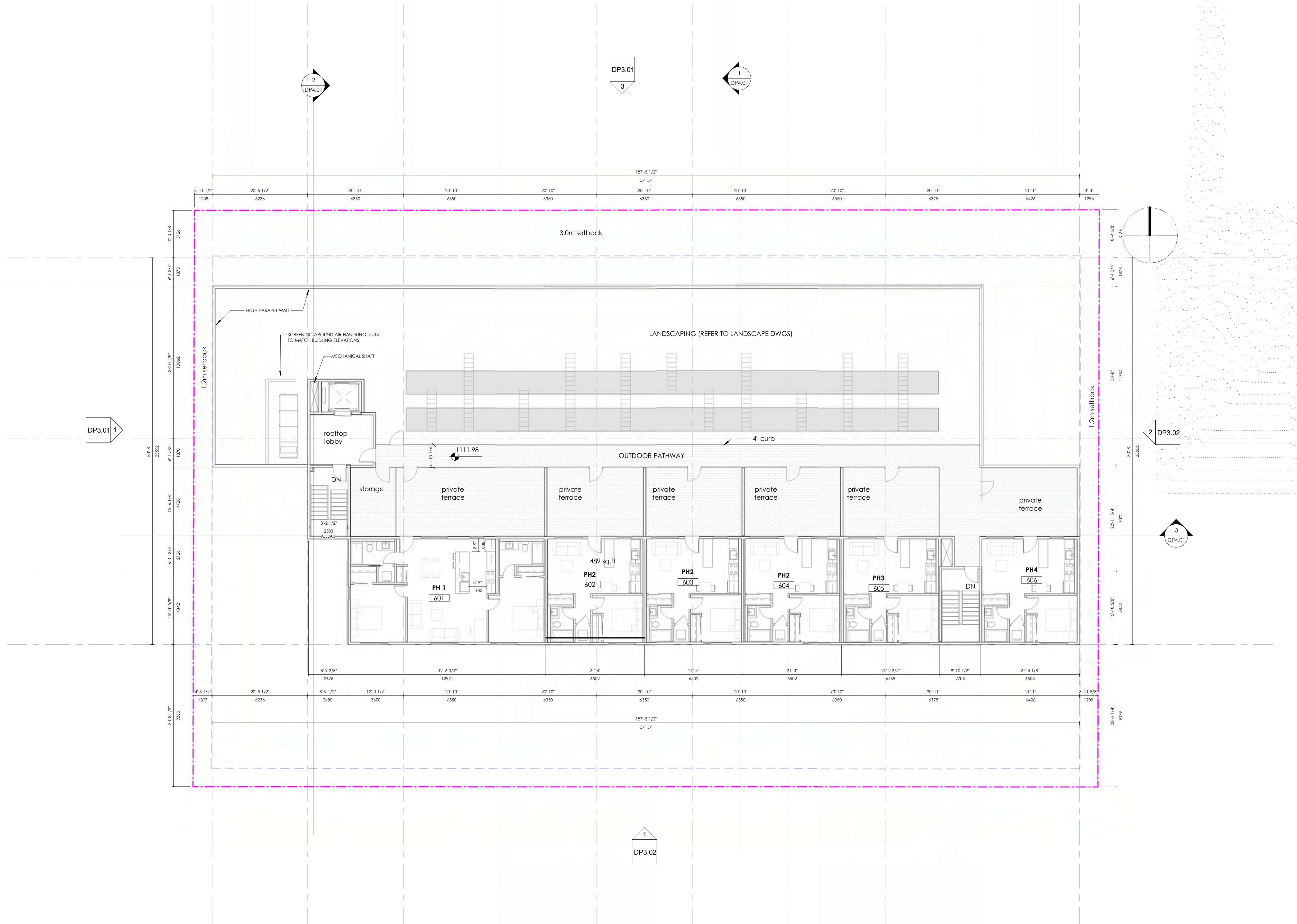
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 lots 23-30, Block 24, Plan 4479P

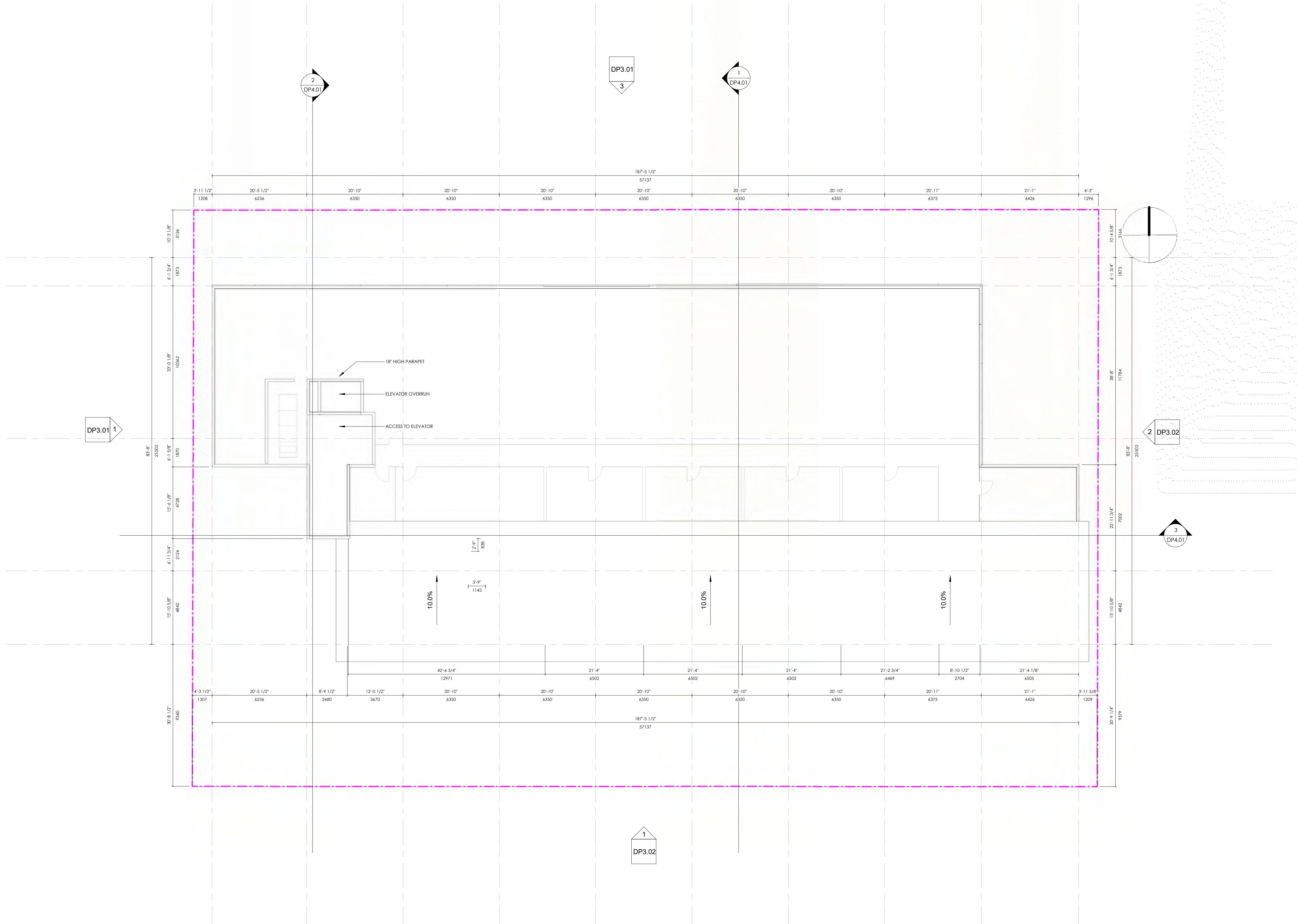
DRAWING
LEVEL 6 FLOOR PLAN

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SCALE AS NOTED		DP2.04



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Revision Schedule		
Number	Date (yy/mm/dd)	Description
2023-02-25		DP SUBMISSION



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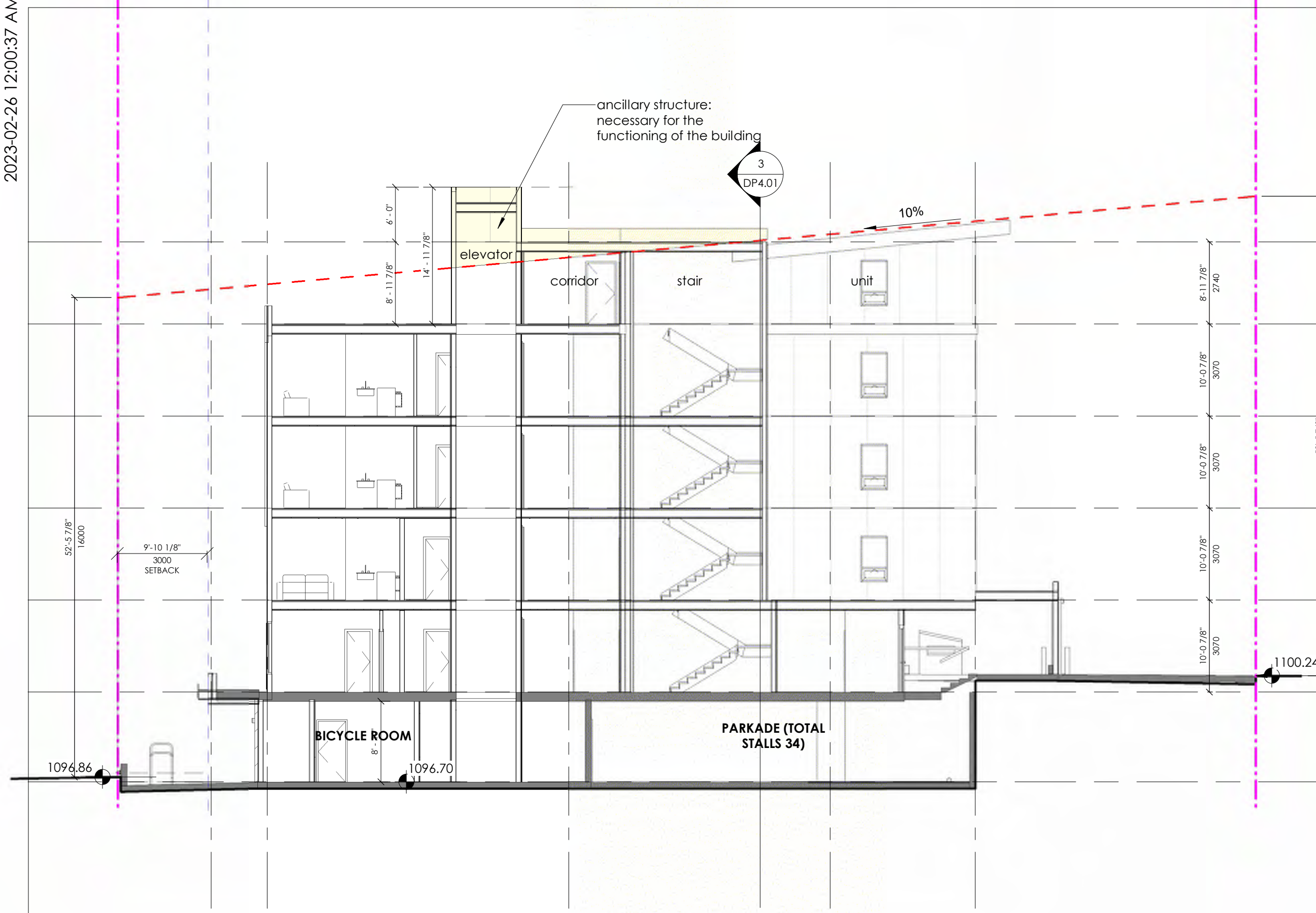
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 lots 23-30, Block 24, Plan 4479P

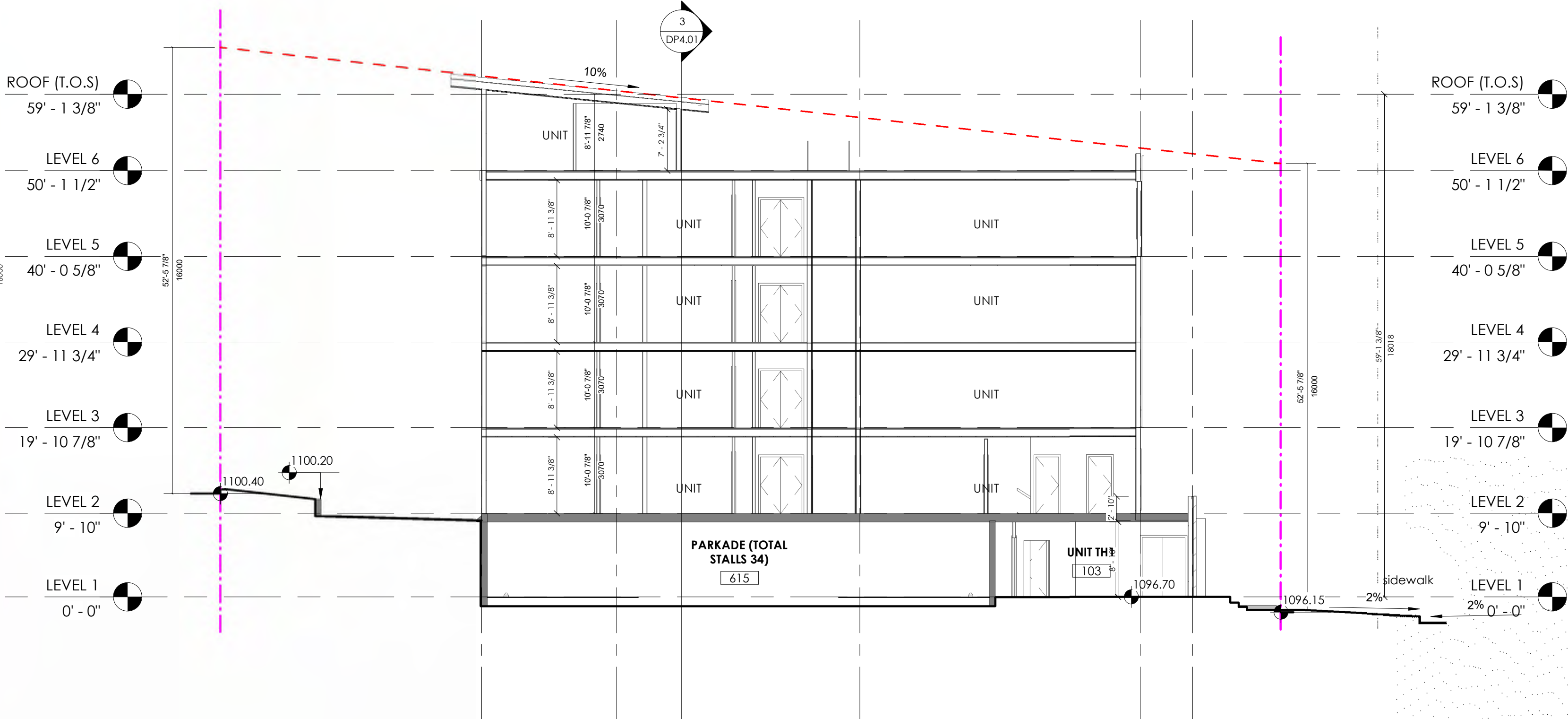
DRAWING
ROOF FLOOR PLAN

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ISSUE DATE (yy/mm)	DP2.05	
SCALE AS NOTED		



- ROOF (T.O.S) 59' - 1 3/8"
- LEVEL 6 50' - 1 1/2"
- LEVEL 5 40' - 0 5/8"
- LEVEL 4 29' - 11 3/4"
- LEVEL 3 19' - 10 7/8"
- LEVEL 2 9' - 10"
- LEVEL 1 0' - 0"

2
 DP4.01 **Building Section 2**
 3/32" = 1'-0"



1
 DP4.01 **Building Section 1**
 3/32" = 1'-0"



3
 DP4.01 **SECTION 3**
 3/32" = 1'-0"

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Revision Schedule		
Number	Date (yy/mm/dd)	Description
1	2023-02-25	DP SUBMISSION

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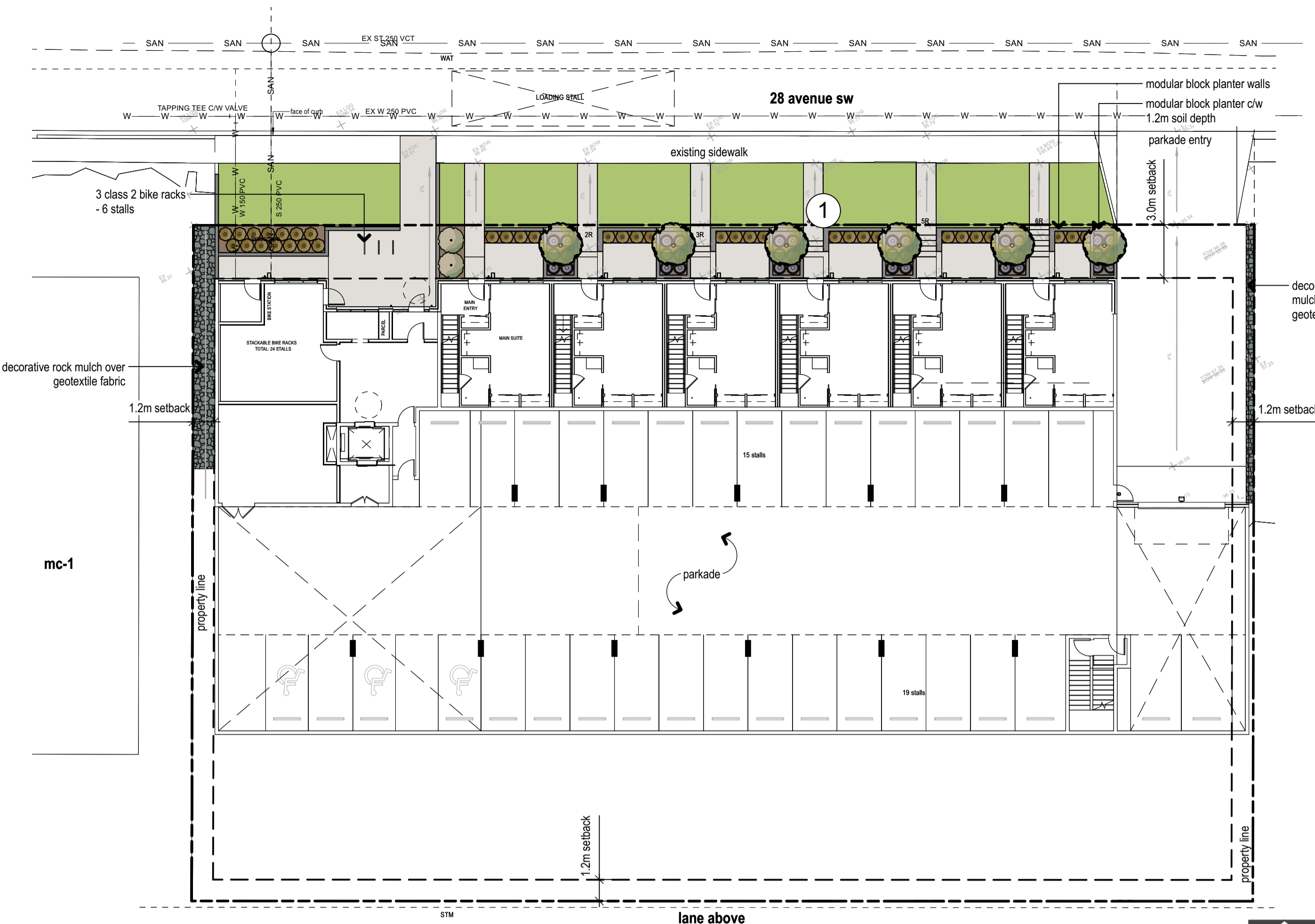
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PROJECT NAME AND ADDRESS
AEROPARK
 1823 28th Ave SW, Calgary, Alberta
 lots 23-30, Block 24, Plan 4479P

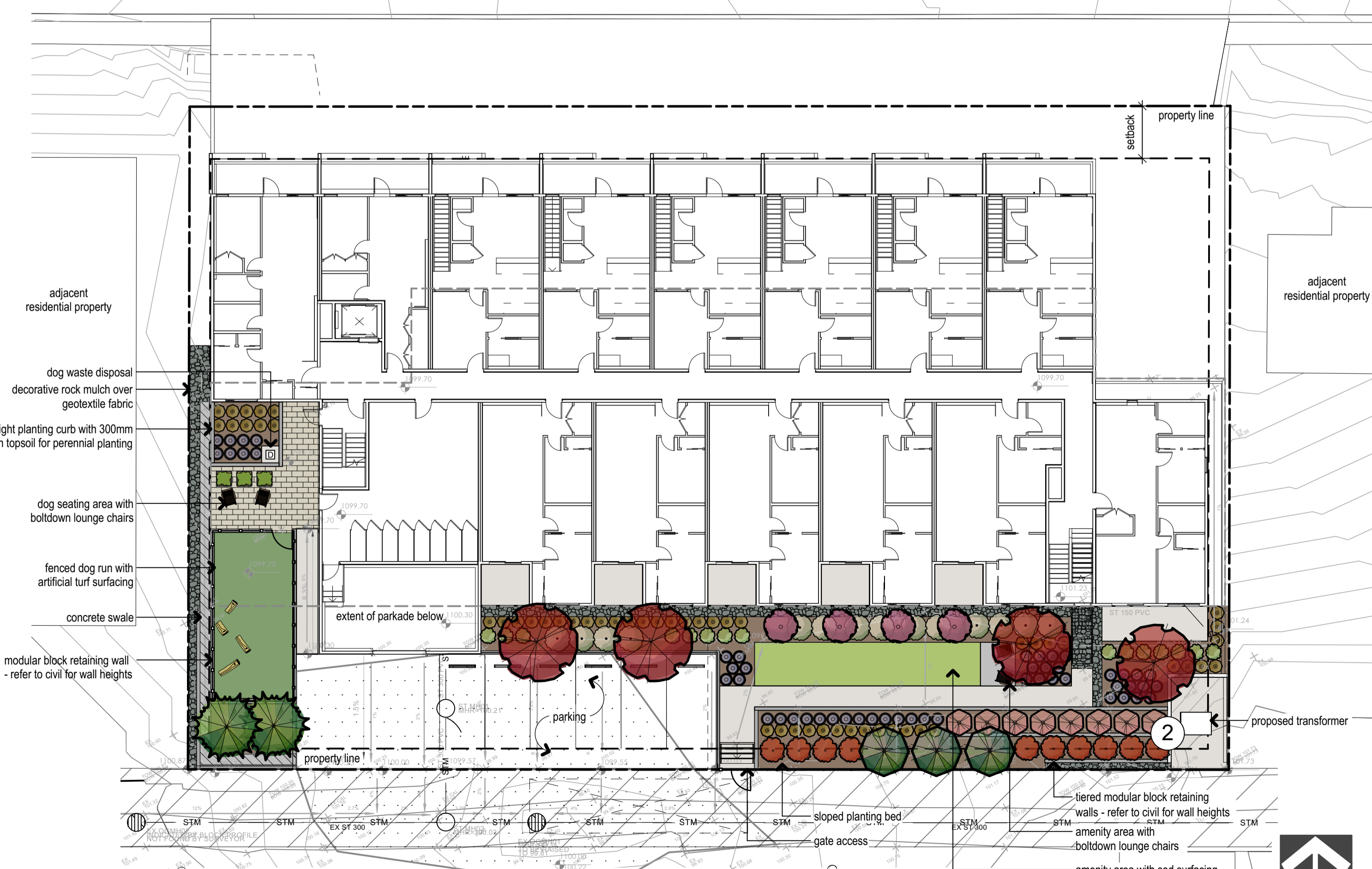
DRAWING
SECTIONS

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ISSUE DATE (yy/mm)		
SCALE AS NOTED		

DP4.01



1 landscape plan: ground level
1:200



2 landscape plan: 2nd level
1:200

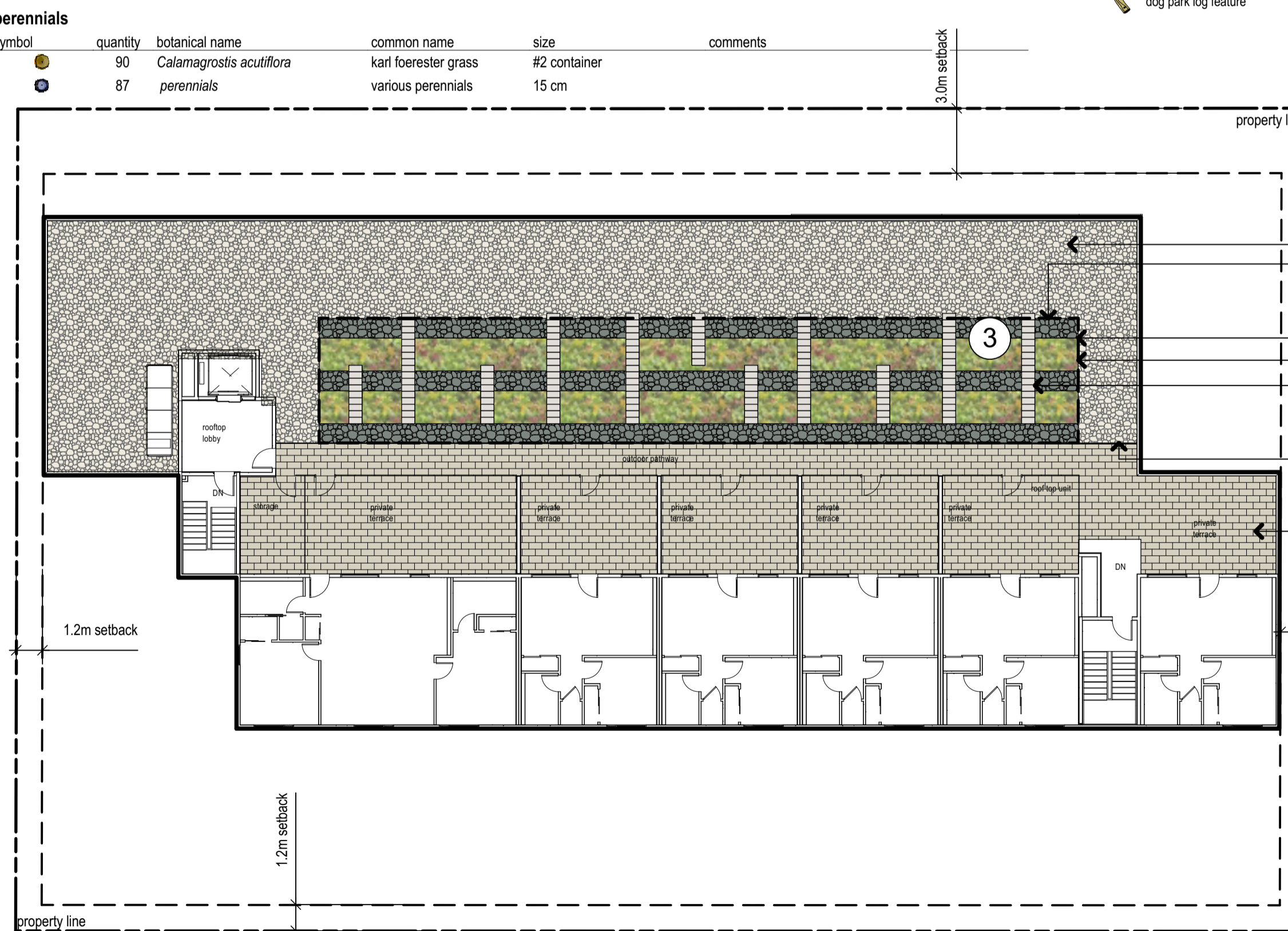
land use bylaw landscape requirements

Address: 1823 28th Ave SW, Calgary, AB lots 23-30, block 24, Plan 4479P
City of Calgary Zoning M-C2 Multi-Residential - Contextual Medium Profile Bylaw 2P80 RM-1

total parcel area	2,262.10 m ²	904.84 m ²	
landscape area required (40% of parcel area)			
street-oriented multi-residential reduction (2.0 sqm for every 1.0m of footage) 38.3m of footage	-76.60 m ²	-3.4% max	
low water landscape option	-67.86 m ²	-3.0% max	
landscape area required	760.38 m²	33.6 %	
landscape area provided			percentage
total landscape area	760.38 m ²	779.00 m ²	34 %
total soft surface landscape area at grade and above grade	380.19 m ²	413.0 m ²	53 %
street-oriented	380.19 m ²	366.0 m ²	47 %
total sod area at grade and above grade (max. 30% of required landscape area)	228.114 m ²	86.0 m ²	11 %
total landscape area at grade	522.0 m ²		
soft surface at grade	286.0 m ²		
hard surface at grade	236.0 m ²		
total landscape area above grade (over parkade and rooftop)	257.0 m ²		
soft surface (above grade - over parkade and rooftop) - 30% min	127.0 m ²		49 %
hard surface (above grade - over parkade and rooftop)	130.0 m ²		
total number of trees	required	provided	
number of trees required: 145 m ² of landscape area provided	17	19	
deciduous trees 75% (3/4)	required	provided	
large trees min 75mm cal	7	7	
medium trees min 50mm cal	6	7	
total deciduous trees	13	14	
coniferous trees 25% (1/4)	required	provided	
large trees (50% 3.0m ht min)	2	2	
medium trees (50% 2.0m ht min)	3	3	
total coniferous trees	4	5	
shrubs	required	provided	
number of shrubs required: 245 m ² of landscape area provided	36	49	

plant schedule

trees	symbol	quantity	botanical name	common name	size	comments
		4	<i>Acer ginnala</i>	amur maple	75mm minimum calliper	balled + burlapped, City of Calgary low water tree
		6	<i>Crataegus mordanensis</i> 'Snowbird'	snowbird hawthorn	(3)- 50mm minimum calliper (3)- 75mm minimum calliper	balled + burlapped, City of Calgary low water tree
		4	<i>Malus x 'Jelispire'</i>	purple spire flowering crabapple	50mm minimum calliper	balled + burlapped
		3	<i>Picea pungens</i> 'Bakeri'	bakeri spruce	2.0m minimum height	balled + burlapped
		2	<i>Pinus ponderosa</i>	ponderosa pine	3.0m minimum height	balled + burlapped City of Calgary low water tree
shrubs	symbol	quantity	botanical name	common name	size	comments
		16	<i>Philadelphus lewisii</i> 'Blizzard'	blizzard mockorange	#5 container	600mm min. height
		8	<i>Prunus triloba</i> 'Multiplex'	double flowering plum	#5 container	600mm min. height City of Calgary low water shrub
		10	<i>Sambucus racemosa</i>	european red elder	#5 container	600mm min. height, City of Calgary low water shrub
		15	<i>Symphoricarpos occidentalis</i>	western snowberry	#5 container	600mm min. height, City of Calgary low water shrub
perennials	symbol	quantity	botanical name	common name	size	comments
		90	<i>Calamagrostis acutiflora</i>	karl foerester grass	#2 container	
		87	perennials	various perennials	15 cm	



3 landscape plan: 6th level rooftop
1:200



site furnishings



1 modular block planter walls and steps along street frontage units



2 tiered retaining walls: modular block walls 600mm height tree and shrub planting between walls



3 zen garden: green roof tray system with pavers and decorative rock (maintenance access only)

softscape legend	hardscape legend
sod	standard concrete paving with broom finish & tooled joints
bark mulch planting beds	decorative concrete pavers
artificial turf	decorative rock mulch over geotextile fabric
green roof tray system	
site element legend	utility legend
surface mounted lounge chairs	sanitary line
dog waste disposal	storm line
dog park log feature	water line

- notes
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 - Do not scale drawings.
 - Refer to Civil drawings for all grading information.
 - All walkways are plain concrete unless noted otherwise.
 - low water irrigation system, only trees and shrubs are to be irrigated and the extent of water delivery must be confined to the tree and shrub areas.
 - All planting beds and tree wells to be mulched with bark chip much to 100 mm depth. Contractor to ensure planting beds extend to drip line of outermost plant materials in planting bed.

NOT FOR CONSTRUCTION
for review and coordination only

EIGHT ONE EIGHT STUDIO
PLANNING + DESIGN COLLABORATIVE
1813 110 STREET SW, CALGARY, AB T2T 3W6

number	revision	date	by	approved
1	updated base info	2023-02-24	hal	aag
1	development permit	2023-02-24		

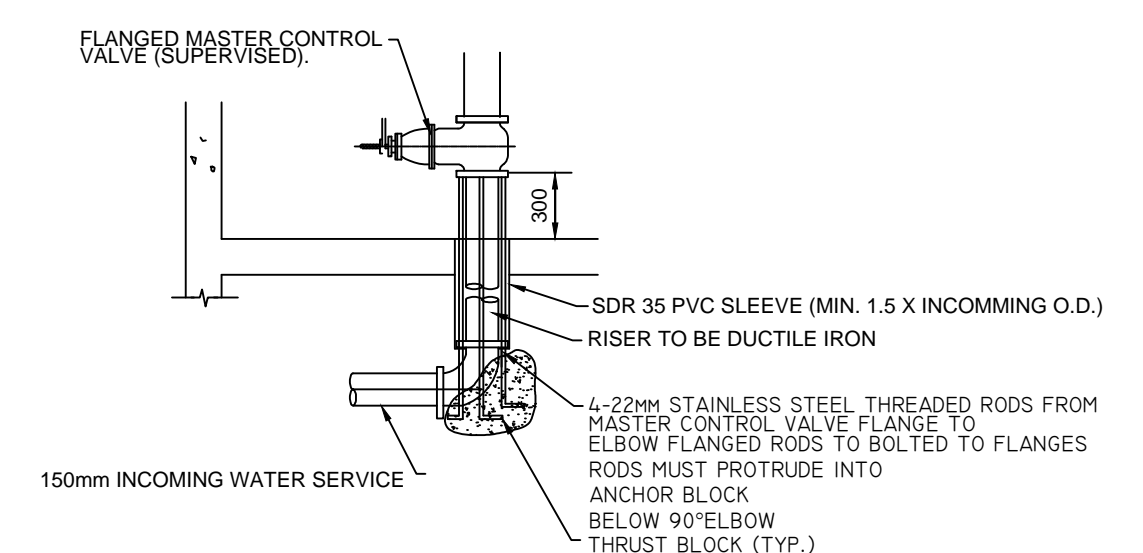
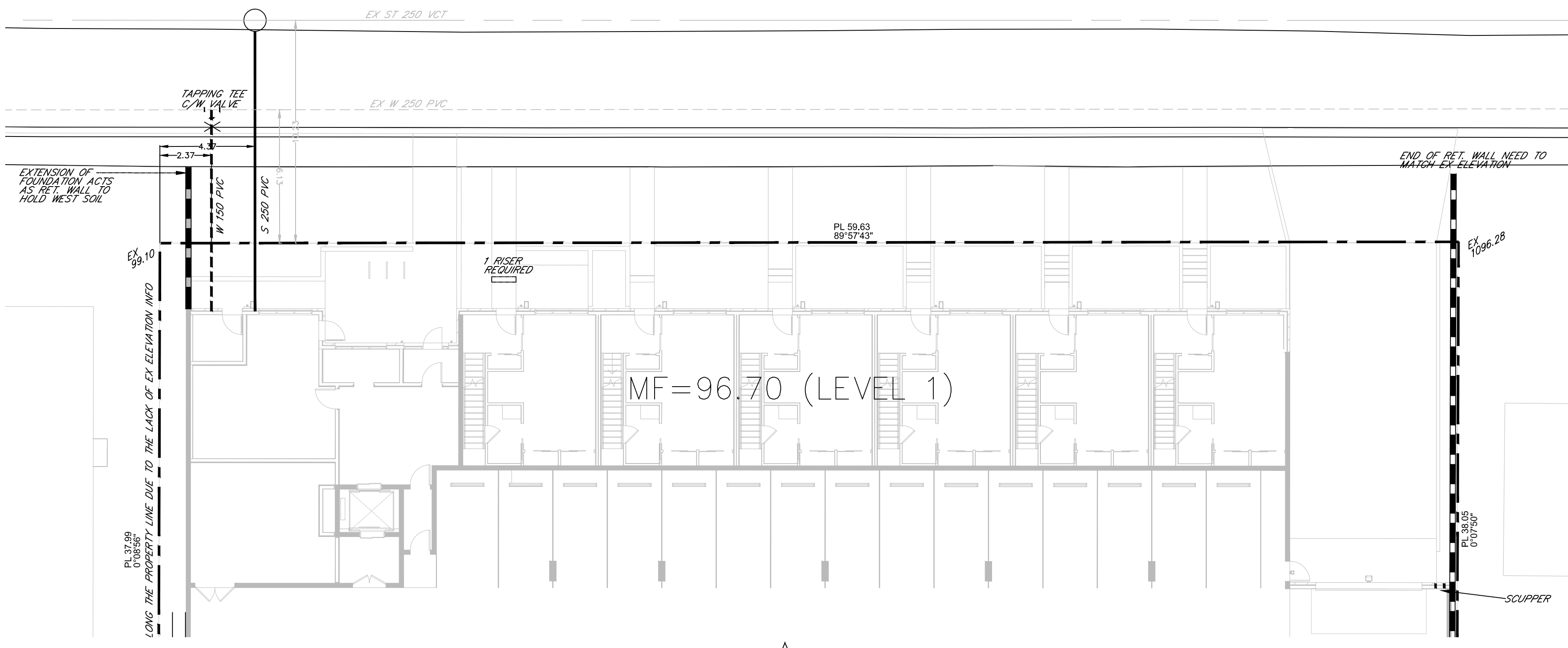
1 development permit issued for 2023-02-24 date (y.m.d)

project
aeropark
1823 28th Ave SW, Calgary, Alberta
lots 23-30, Block 24, Plan 4479P
drawing
landscape plan

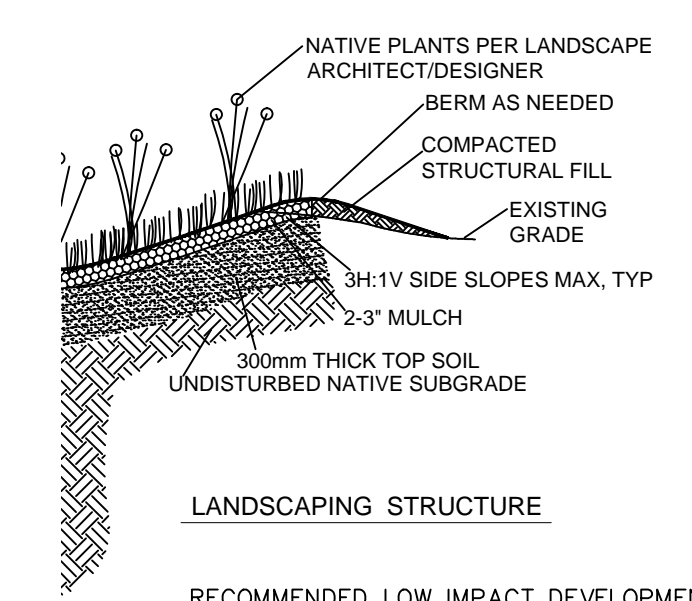
drawn _____ approved _____
checked _____ project number _____
date _____ sheet _____
scale 2023/01/01
as noted **LDP01**



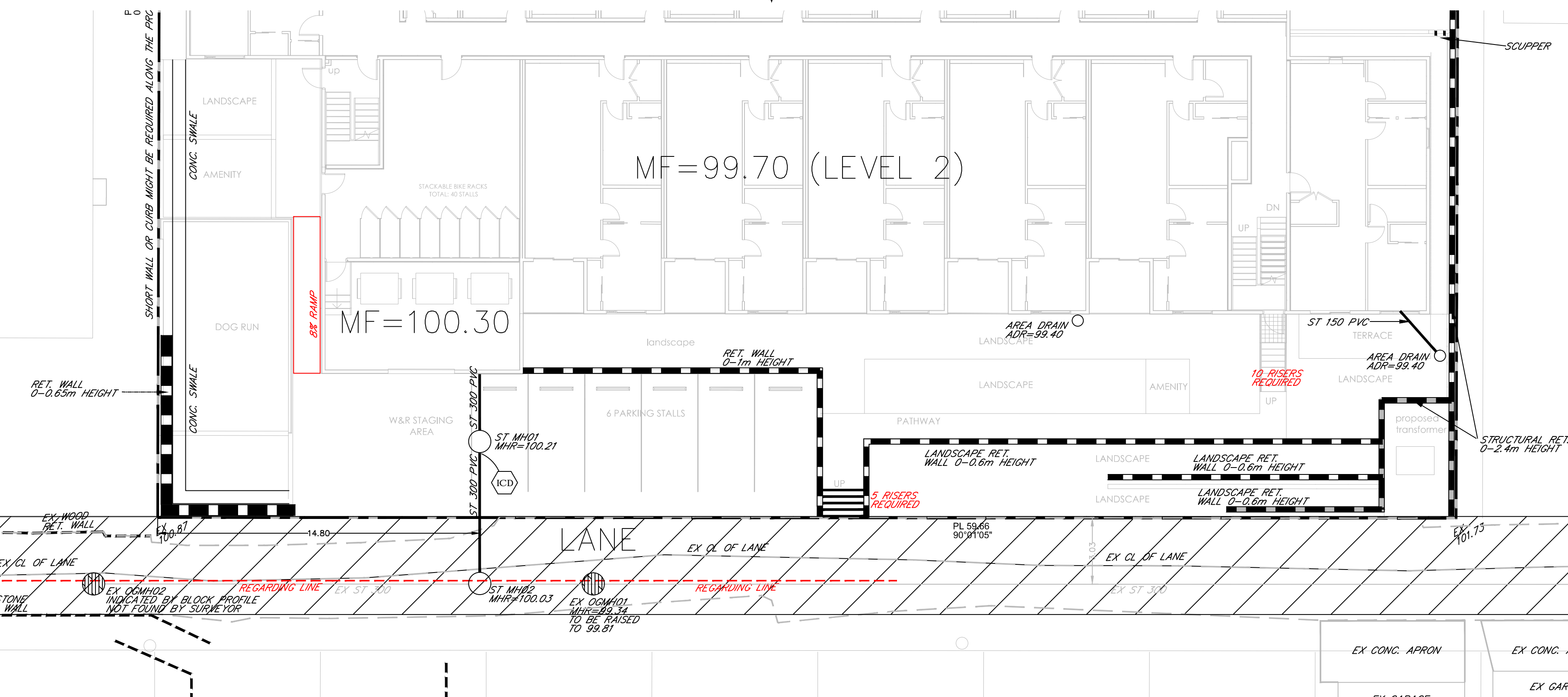
28 AV SW



WATER METER DETAIL
NTS



LANDSCAPING STRUCTURE
RECOMMENDED LOW IMPACT DEVELOPMENT (LID)
A MINIMUM DEPTH OF 0.3m OF TOPSOIL IS RECOMMENDED FOR SOD AREAS
A MINIMUM DEPTH OF 0.6m OF TOPSOIL IS RECOMMENDED SHRUB AND TREE BEDS
SITE GRADING SHOULD DIRECT RAIN WATER RUNOFF TO PLANTS WITH HIGH WATER NEEDS TO REDUCE RELIANCE ON POTABLE WATER



- ALL THE EXISTING UTILITIES INFORMATION ARE EITHER FROM THE RECORD OF CITY OF CALGARY OR THE SURVEY PLAN PROVIDED BY THE SURVEY COMPANY. THE CONTRACTOR SHOULD CONFIRM ALL THE EXISTING SERVICES INFORMATION (INVERTS, LOCATION, ETC) AND INFORM RICHVIEW ENGINEERING INC FOR NECESSARY ADJUSTMENT PRIOR TO CONSTRUCTION.
- ALL THE SURFACE LAYOUT, INCLUDING THE CURB LAYOUT, BUILDING LAYOUT, ETC, SHOULD FOLLOW THE LATEST SITE PLAN FROM ARCHITECT.
- IF THIS DRAWING IS TO BE USED FOR SURVEY PURPOSES, THE SURVEYOR NEED TO INPUT THIS DRAWING INTO HIS OWN COORDINATE SYSTEM FOR SURVEY LAYOUT.
- THE CONTRACTOR MUST SUPPLY WRITTEN NOTICE TO RICHVIEW ENGINEERING INC OF INTENT TO START CONSTRUCTION OF THE DEEP UTILITIES AT LEAST 3 DAYS IN ADVANCE OF THE CONSTRUCTION START.
- FAILURE TO DO SO MAY RESULT IN A REQUEST TO HAVE THE LINES EXCAVATED SO AS TO ASCERTAIN BEDDING CONDITIONS AND THAT PIPE HAS BEEN PLACED CORRECTLY AND/OR TO HAVE A VIDEO EXAMINATION OF THE PIPE PERFORMED AT THE CONTRACTOR'S EXPENSE.
- FAILURE TO HAVE THE INSPECTIONS COMPLETED ADEQUATELY WILL PREVENT RICHVIEW ENGINEERING INC'S BEING ABLE TO EXECUTE THE NECESSARY CERTIFICATIONS REQUIRED BY THE ALBERTA BUILDING CODE AND THE NATIONAL BUILDING CODE.

EXISTING WATER SERVICES TO BE KILLED AT MAIN PRIOR TO PROPOSED SERVICES BEING ACCEPTED BY INSPECTION SERVICES

NOT FOR CONSTRUCTION
UNTIL FINAL APPROVAL IS GRANTED
BY THE CITY OF CALGARY

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- NOTES:
- ALL PLANS SUBJECT TO TERMS OF DEVELOPMENT AGREEMENT.
 - ALL DIMENSIONS ARE IN METRES AND DECIMALS THEREOF.
 - ALL ELEVATIONS REFERENCED TO 1000 m GEODETIC DATUM.
 - ALL WORK TO BE DONE TO CITY OF CALGARY SPECIFICATIONS.
 - WATER SERVICES SHALL HAVE A MIN. OF 3.0m COVER IN CLAY SOIL CONDITIONS AND 3.3m IN GRAVEL CONDITIONS.
 - WATER MAINS 150Ø OR LARGER SHALL BE PVC DR18.
 - ALL HYDRANT LEADS OR TO BE PVC DR18.
 - ALL SANITARY & STORM MAINS 150Ø OR LARGER SHALL BE SDR-35.
 - ALL SANITARY SERVICES 100Ø OR SMALLER SHALL BE SDR-28.
 - ALL PE WATER SERVICES SHALL BE DR 11.
 - SAN & STM SERVICES ARE TO BE BROUGHT TO 1.5m INSIDE THE FOUNDATION WALL. WATER SERVICES ARE TO BE BROUGHT INTO THE MECHANICAL ROOM.
 - MANHOLES TO BE TYPE 5A SULPHATE RESISTANT CONCRETE AND TO BE INSTALLED IN ACCORDANCE WITH CITY OF CALGARY SPECIFICATIONS.
 - ALL CONCRETE SEWER PIPES, MANHOLES, CATCH BASIN BARRELS SHALL BE SULPHATE RESISTANT CONCRETE (TYPE 50).
 - ALL STORM AND SANITARY SEWER PIPE BEDDINGS FOR PIPE SIZES 100mm TO 375mm TO BE CLASS III IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATIONS IN ASTM D2321.
 - IF WEeping IS NEEDED, CONNECT TO SUMP PUMP. WEeping TILE SHALL BE PUMP TO GRADE TO A POINT PAST THE DOWNSPOUTS VIA A BASEMENT SUMP AND PUMP, AS PER ALBERTA BUILDING CODE.
 - ENSURE THAT THE DRAINAGE FROM DOWNSPOUTS IS AWAY FROM BUILDING.
 - EXACT ELEVATION OF MANHOLE RIMS ARE TO BE SET IN THE FIELD PRIOR TO FINAL ASPHALT LIFT.
 - PLASTIC PLUGS BY NORWOOD FOUNDARY OR EQUIVALENT TO BE USED IN PLACE OF PARSON INSERTS ON SANITARY MANHOLES SITUATED IN TRAP LWS.
 - ALL CATCH BASINS SHALL BE TYPE 'C' OTHERWISE NOTED.
 - WATER RISER LOCATION TO BE CONFIRMED BY MECHANICAL ENGINEER

LEGEND:

	PROPOSED	EXISTING
SITE PROPERTY LINE	---	---
EASEMENT LINE	---	---
STORM SEWER	ST 250 PVC	EX ST 250 PVC
SANITARY SEWER	S 250 PVC	EX S 250 PVC
WATER MAIN	W 250 PVC	EX W 250 PVC
CATCHBASIN	□	□
MANHOLE	○	○
WATER VALVE	○	○
FIRE HYDRANT	○	○
CAPPED PIPE END	○	○
GRADE	○	○
WATER METER	⊗	⊗
REDUCER	△	△
CHECK VALVE	○	○
LIGHT STANDARD	○	○
ICD	○	○

MUNICIPAL ADDRESS
1823,1831,1832 28TH AVENUE SW, CALGARY, AB

LEGAL ADDRESS
LOTS 23-30, BLOCK 24
PLAN 4479P
SW 1/2 SEC 8 TWP 24 RGE 01 W5th M

REVISIONS

REV.	Y	M	D	ISSUE/REVISION DESCRIPTION	DRN	CHK
0	23	01	09	FOR APPROVAL	AY	RL

ENGINEER

PERMIT NUMBER: P09809
17 Feb 23



PROJECT
AEROPARK PROJECT NAME

DESIGN: RL

DRAWN: AY

CHECKED: RL

DATE: 2023-02-10

SCALE: 1:150

DEVELOPMENT PERMIT No.	PROJECT No.	DWG. No.	ISS/REV
DP	1525	1	00

DSSP ORC. No. MC

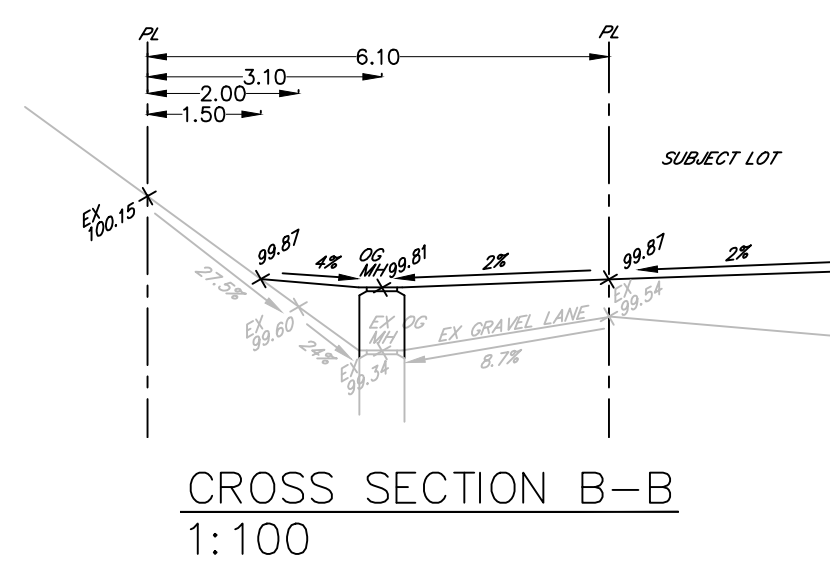
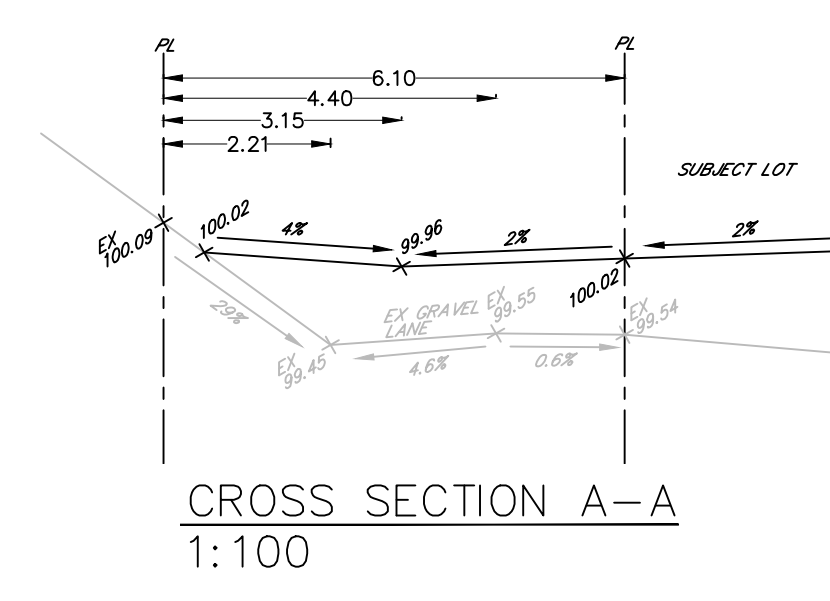
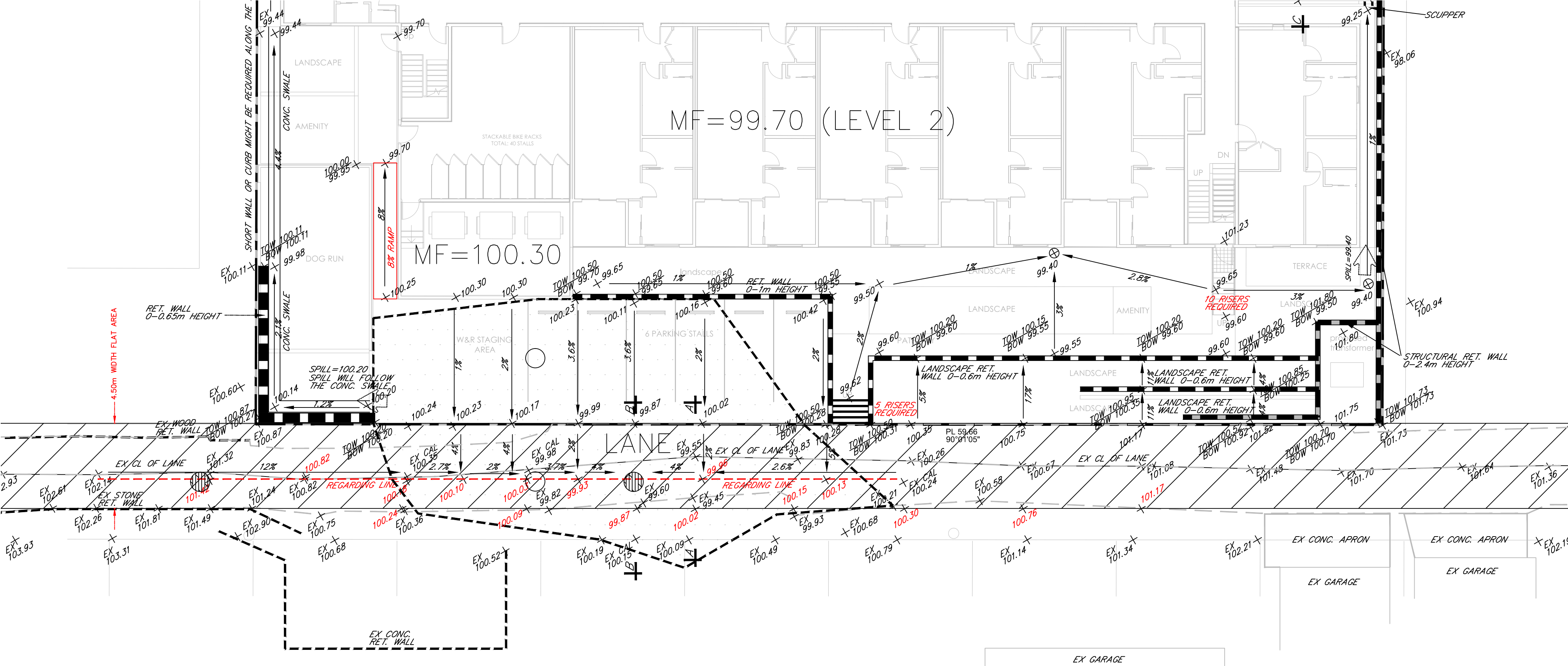
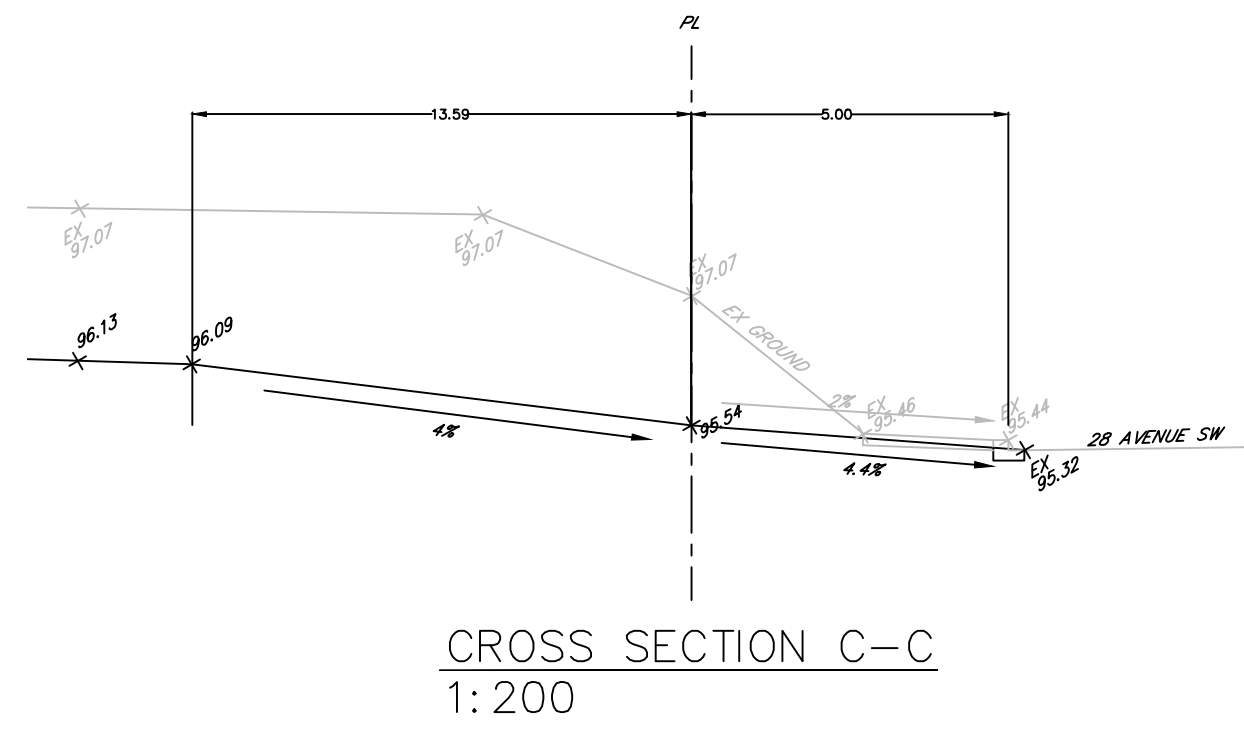
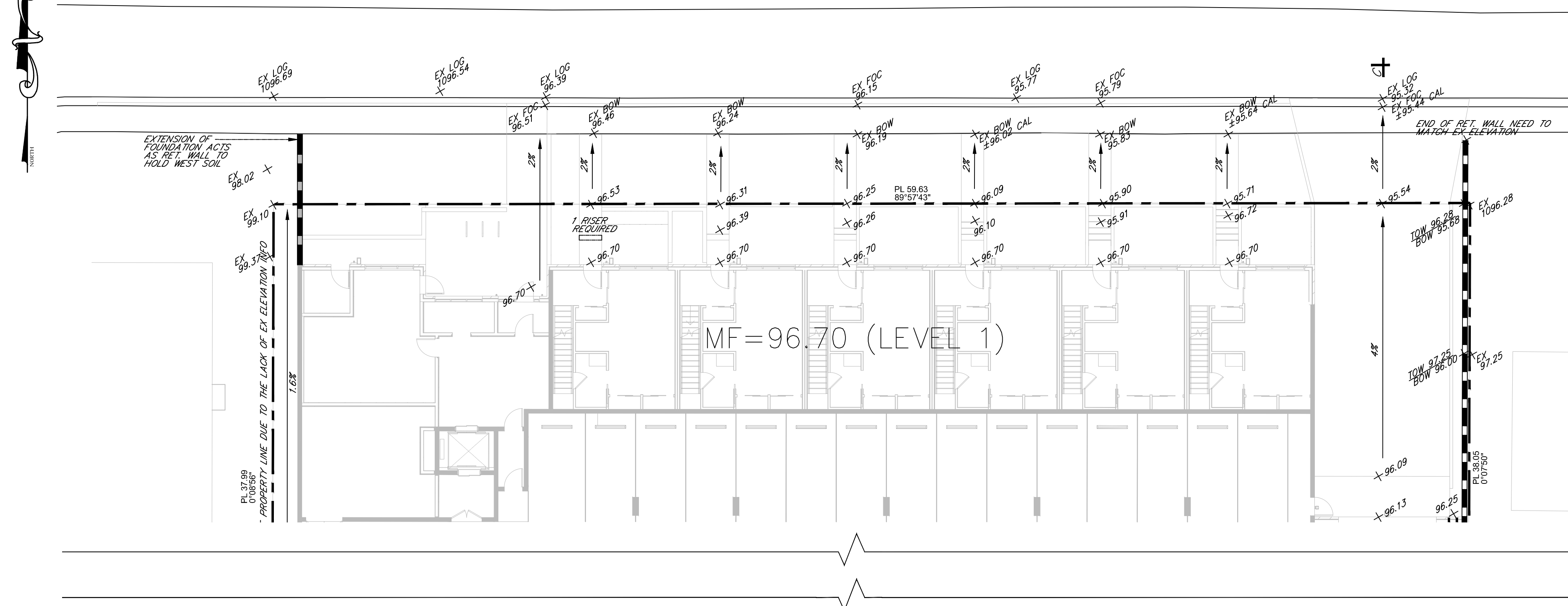
CITY OF CALGARY
DEVELOPMENT SITE SERVICING PLAN

DATE RECEIVED	
CIRCULATION TO	INITIAL DATE
WATER RESOURCES	

REVIEW AND INSPECTION BY THE CITY IS NOT SUBSTITUTE FOR SUPERVISION, INSPECTION, AND DUE DILIGENCE BY THE ENGINEER OF RECORD, LOT OWNER, OR CONTRACTOR.

THE ENGINEER OF RECORD MAINTAINS FULL RESPONSIBILITY TO EXERCISE COMPETENCE AND GOOD ENGINEERING JUDGEMENT FOR THE ENTIRETY OF THEIR DESIGN AND PROVIDE DOCUMENTATION FOR ALL PRIVATE SITE WORKS AND RETAIN THESE RECORDS FOR THE USE OF THEIR CLIENTS.

28 AV SW



- NOTES:
1. ALL DIMENSIONS ARE IN METRES AND DECIMALS THEREOF.
 2. ALL ELEVATIONS REFERENCED TO 1000 GEODETIC DATUM.
 3. ALL WORK TO BE DONE TO CITY OF CALGARY SPECIFICATIONS.
 4. HEAVY DUTY ASPHALT REQUIRED AS INDICATED.
 5. ALL CURB REFER TO ARCHITECTURAL DRAWING FOR DETAILS.
 6. ENSURE THAT THE DRAINAGE FROM DOWNSPOUTS IS AWAY FROM BUILDING.
 7. MINIMUM OVERHEAD CLEARANCE REQUIRED FOR DUMPING CONTAINERS IS 6.4m.
 8. MINIMUM VERTICAL CLEARANCE REQUIRED FOR SANITATION VEHICLES IS 4.3m.
 9. HEAVY DUTY ASPHALT TO BE A DEPTH AND CLASS TO CARRY A LOADED COLLECTION VEHICLE (25,000 kg).
 10. ELECTRICAL TRANSFORMERS, LIGHT STANDARDS AND SIGNAL POLES WILL BE LOCATED TO ENSURE EASY COLLECTION VEHICLE ACCESS.
 11. ALL DRIVEWAY APRONS SHALL BE INSTALLED AS PER CITY OF CALGARY SPECIFICATIONS.

LEGEND

PROPOSED GRADE	+	EX 97.79
PROPOSED SLOPE	-	1.00%
EXISTING GRADE	x	EX 97.79
SLAB ELEVATION		MF=48.75

MUNICIPAL ADDRESS
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SW 1/2 SEC 8 TWP 24 RGE 01 W5th M

REVISIONS

NO.	DATE	DESCRIPTION	BY	CHK		
0	23	01	09	FOR APPROVAL	AY	RL
REV.	Y	M	D	ISSUE/REVISION DESCRIPTION	DRN	CHK

ENGINEER

PERMIT NUMBER: P09809
17 Feb 23



PROJECT
AEROPARK PROJECT NAME

DESIGN:	RL	SITE GRADING PLAN			
DRAWN:	AY				
CHECKED:	RL				
DATE:	2023-02-10	DEVELOPMENT PERMIT No. DP	PROJECT No. 1525	DWG. No. 2	ISS/REV 00
SCALE:	1:150	MECHANICAL CIRC. No. MC			

NOT FOR CONSTRUCTION
UNTIL FINAL APPROVAL IS GRANTED
BY THE CITY OF CALGARY

- ALL THE SURFACE LAYOUT, INCLUDING THE CURB LAYOUT, BUILDING LAYOUT, ETC. SHOULD FOLLOW THE LATEST SITE PLAN FROM ARCHITECT.
- IF THIS DRAWING IS TO BE USED FOR SURVEY PURPOSE, THE SURVEYOR NEED TO INPUT THIS DRAWING INTO HIS OWN COORDINATE SYSTEM FOR SURVEY LAYOUT.